

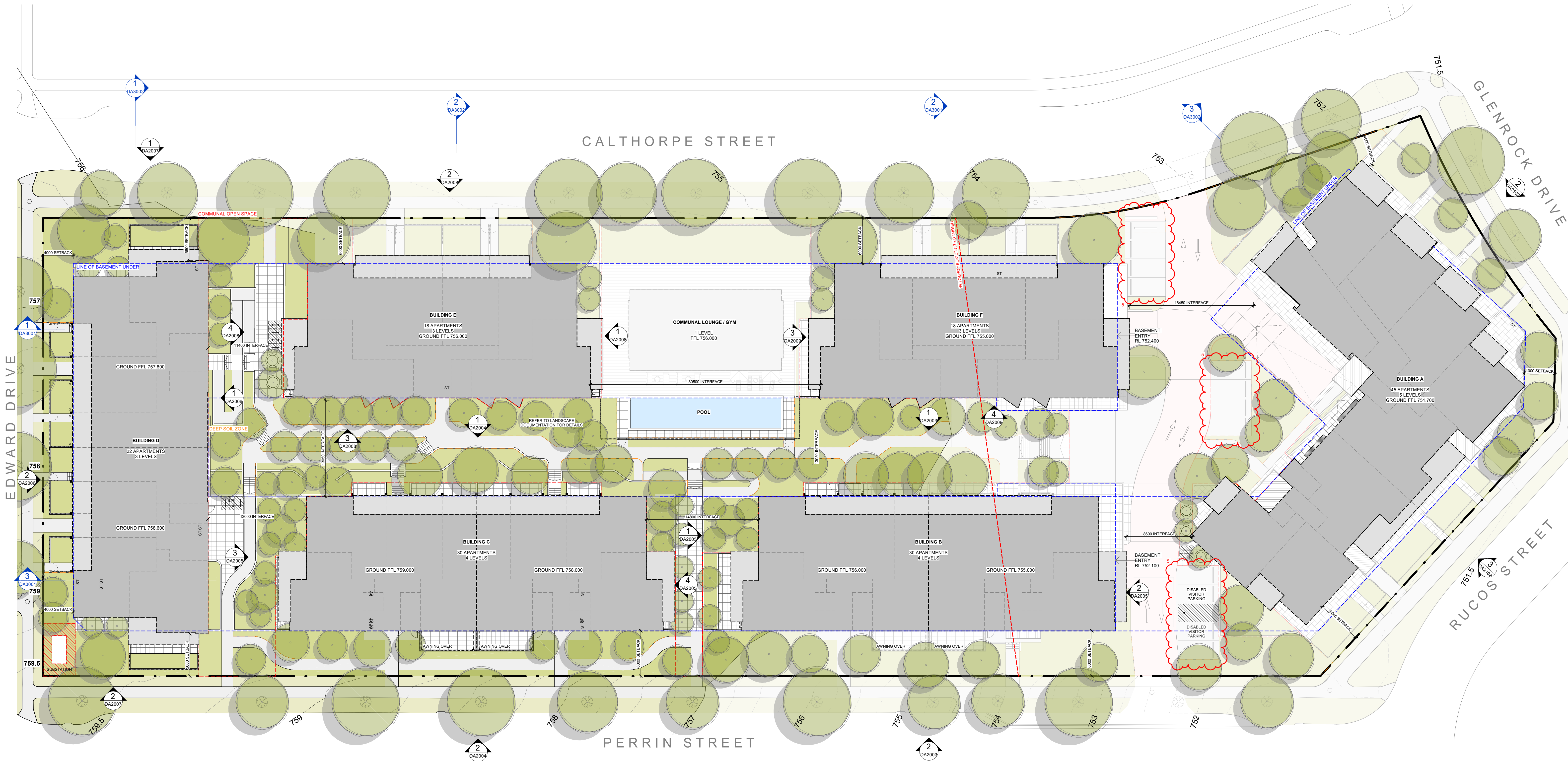
# GOOGONG

## LOT 642 GOOGONG

### DRAWING LIST

DRAWING NO.	TITLE	REV
DA0000	LOCATION & DRAWING SCHEDULE	C
DA0001	SITE ANALYSIS & CONTEXT	B
DA0110	SITE PLAN	C
DA0115	MASTER PLAN	C
DA0201	AREA PLAN	B
DA0202	AREA PLAN	B
DA0301	SHADOW DIAGRAM	B
DA0321	SOLAR ACCESS	B
DA0322	SOLAR ACCESS	B
DA0401	PLAN - PEDESTRIAN ACCESS	C
DA1001	FLOOR PLANS - BASEMENT 1	C
DA1002	FLOOR PLANS - LOWER GROUND	C
DA1003	FLOOR PLANS - GROUND	C
DA1004	FLOOR PLANS - LEVEL 1	C
DA1005	FLOOR PLANS - LEVEL 2	C
DA1006	FLOOR PLANS - LEVEL 3	C
DA1007	FLOOR PLANS - LEVEL 4	B
DA1008	FLOOR PLANS - ROOF	B
DA2001	ELEVATIONS - BUILDING A	B
DA2002	ELEVATIONS - BUILDING A	B
DA2003	ELEVATIONS - BUILDING B	B
DA2004	ELEVATIONS - BUILDING C	B
DA2005	ELEVATIONS - BUILDING B & C	B
DA2006	ELEVATIONS - BUILDING D	B
DA2007	ELEVATIONS - BUILDING D	B
DA2008	ELEVATIONS - BUILDING E	B
DA2009	ELEVATIONS - BUILDING F	B
DA2010	ELEVATIONS - COMMUNAL LOUNGE	B
DA2101	ELEVATIONS - COMPOSITE STREETSCAPE	B
DA2102	ELEVATIONS - COMPOSITE STREETSCAPE	B
DA3001	SECTIONS - OVERALL	C
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DA4001	UNIT TYPE PLANS - BUILDING A	C
DA4002	UNIT TYPE PLANS - BUILDING B / C & D	C
DA4003	UNIT TYPE PLANS - BUILDING E & F	C
DA4004	UNIT TYPE PLANS - ADAPTABLE	C
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DA7001	DETAIL - WASTE ENCLOSURE	B
DA7002	DETAIL - MAILBOXES, COURTYARDS & FENCING	B
DA7003	DETAIL - POOL FENCING	A
DA8001	PERSPECTIVE	B
DA8002	PERSPECTIVE	B
DA8003	PERSPECTIVE	B
DA8004	PERSPECTIVE	B





SITE COVERAGE

SITE AREA	11,901 m <sup>2</sup>
BUILDING A	989 m <sup>2</sup>
BUILDING B	757 m <sup>2</sup>
BUILDING C	757 m <sup>2</sup>
BUILDING D	757 m <sup>2</sup>
BUILDING E	625 m <sup>2</sup>
BUILDING F	625 m <sup>2</sup>
COMMUNAL LOUNGE	157 m <sup>2</sup>

SITE COVERAGE 4,667 m<sup>2</sup> (39%)

SITE COVERAGE MEANS THE PROPORTION OF A SITE COVERED BY BUILDINGS, NOT INCLUDING ANY BASEMENT, ANY PART OF AN AWNING THAT IS OUTSIDE THE OUTER WALLS OF A BUILDING AND THAT ADJACES THE STREET FRONTAGE OR OTHER SITE BOUNDARY, ANY EAVES, UNENCLOSED BALCONIES, DECKS, PERGOLAS, AND THE LIKE.

STORAGE

LOWER GROUND	85
BASEMENT 1	78
TOTAL	163

DWELLINGS

	BUILDING A	BUILDING B	BUILDING C	BUILDING D	BUILDING E	BUILDING F
LEVEL 4	-	-	8	-	-	-
LEVEL 3	9	8	8	8	-	-
LEVEL 2	9	8	8	8	6	6
LEVEL 1	9	8	6	6	6	6
GROUND	9	6	-	-	6	6
LOWER GROUND	9	-	-	-	-	-
BASEMENT	-	-	-	-	-	-
TOTAL	45	30	30	22	18	18

DWELLING MIX

	%	QTY
3 BED	17%	28
2 BED (C.A.)	3%	4
2 BED	63%	103
1 BED (+ Study)	7%	12
1 BED	10%	16
TOTAL	100%	163

CAR SPACES

	BUILDING A	BUILDING B	BUILDING C	BUILDING D	BUILDING E	BUILDING F
LOWER GROUND	-	31	34	39	30	30
BASEMENT 1	91	23	20	18	-	-
TOTAL	91	54	54	57	30	30
VISITOR	9	3	-	-	-	9

316 ACHIEVED  
298 REQUIRED

33 REQUIRED  
(21 IN BASEMENT)  
(12 ON STREET)  
TOTAL ACHIEVED 33

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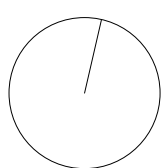
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10/11/2023
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03/07/2024
29/07/2024

PROJECT NAME  
**GOOGONG**  
PROJECT NUMBER  
**2319**  
LOCATION  
**LOT 642 GOOGONG**

CLIENT  
**BASE DEVELOPMENTS**

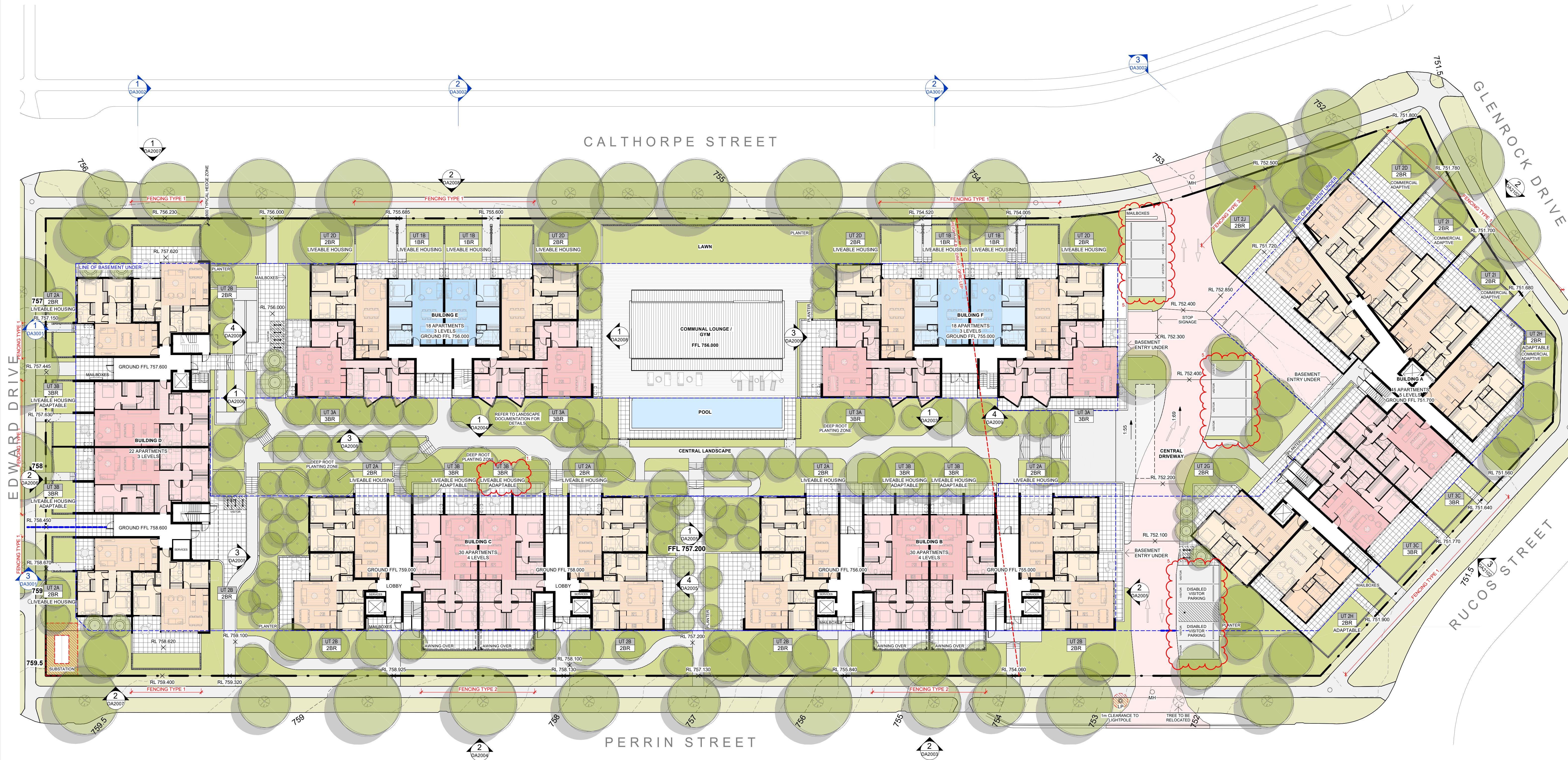


DRAWING TITLE  
**SITE PLAN**

SCALE  
**1:250 @ A1**

DRAWING NUMBER  
**DA0110**  
REVISION  
**E**





1. ADAPTABLE UNIT UT049 REPLACED WITH UT078  
2. BASEMENT 1 EXTENDED FOR ADDITIONAL PARKING.  
BASEMENT PARKING ADJUSTMENTS MADE.  
5. VISITOR PARKING UPDATES

#### FENCING

FENCING TYPE 1	PPOS	50% FRONT SETBACK HEIGHT AT 1-1.2m / 50% at HEIGHT 1.5m
FENCING TYPE 2	SECONDARY OPEN SPACES	MAX 1.2m HEIGHT FROM INTERNAL LEVEL
FENCING TYPE 3	PPOS	ALTERNATE FENCING REQUIRED FRONTING SHARED DRIVEWAY

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LOWER GROUND	9	-	-	-	-	-	
BASEMENT	-	-	-	-	-	-	
TOTAL	45	30	30	22	18	18	163

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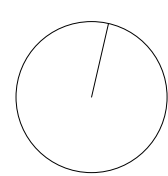
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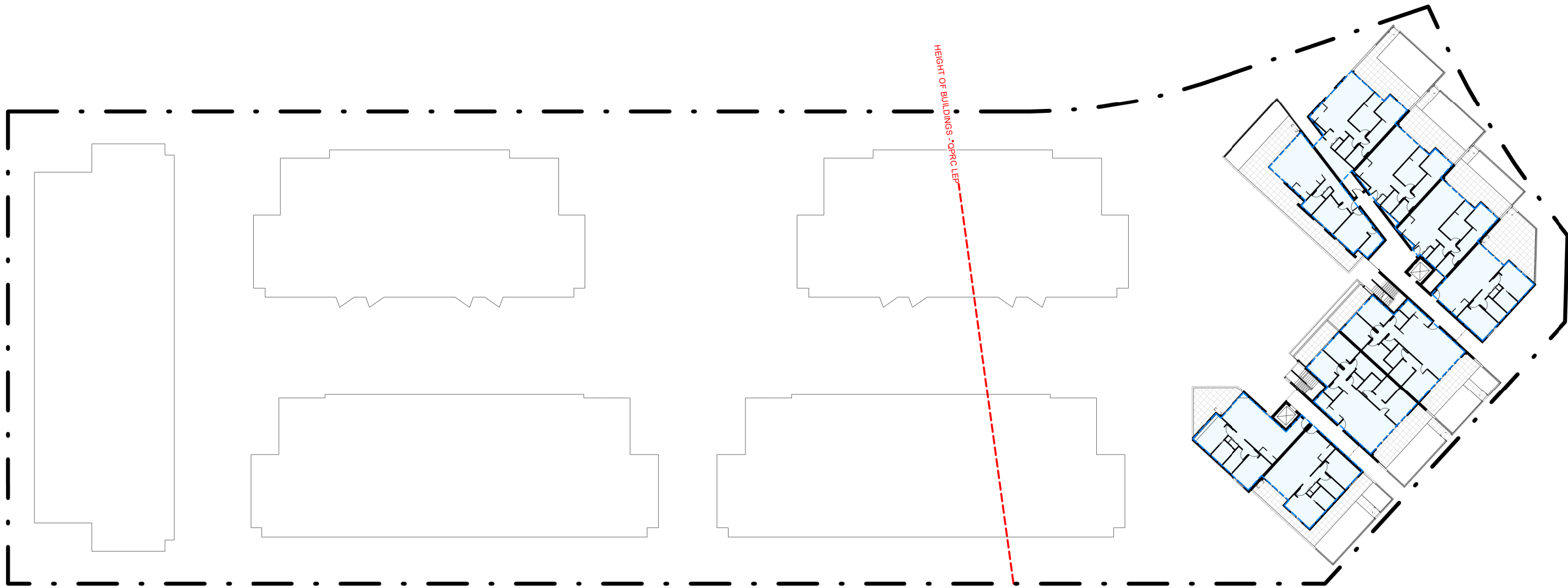


DRAWING TITLE  
**MASTER PLAN**

SCALE  
**1:250 @ A1**

DRAWING NUMBER  
**DA0115**  
REVISION  
**E**

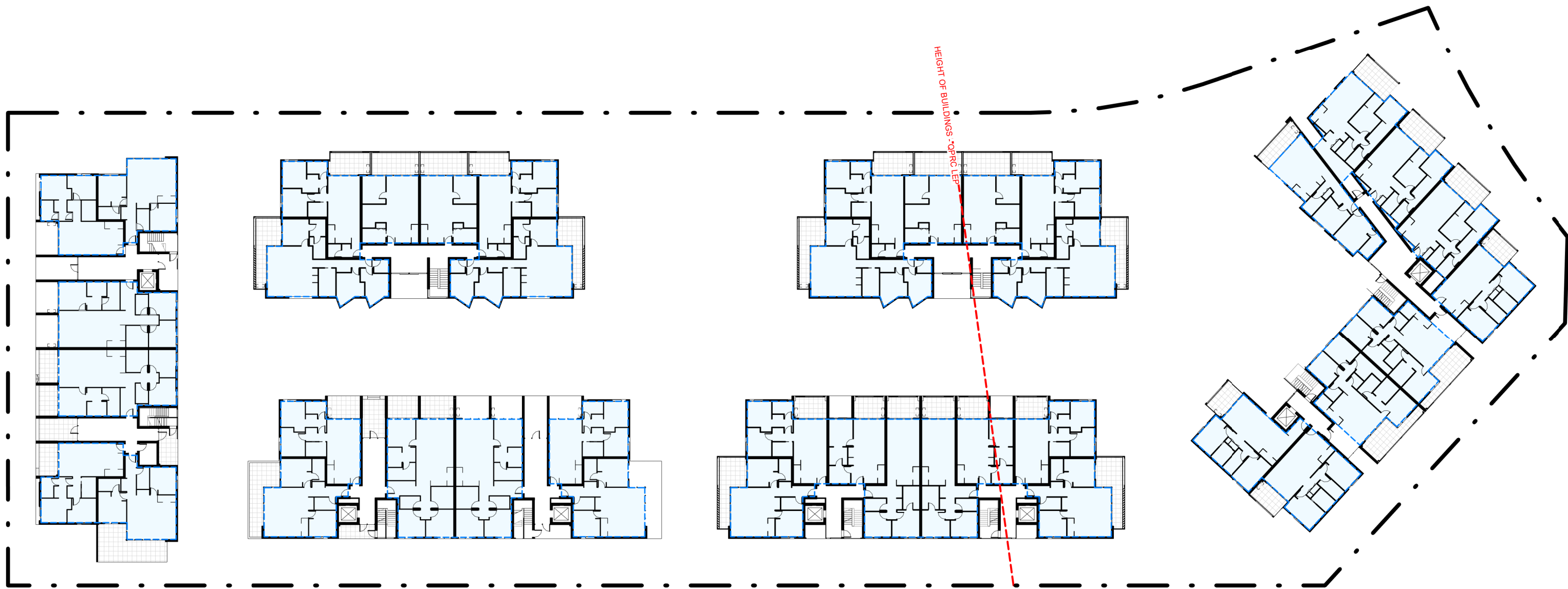




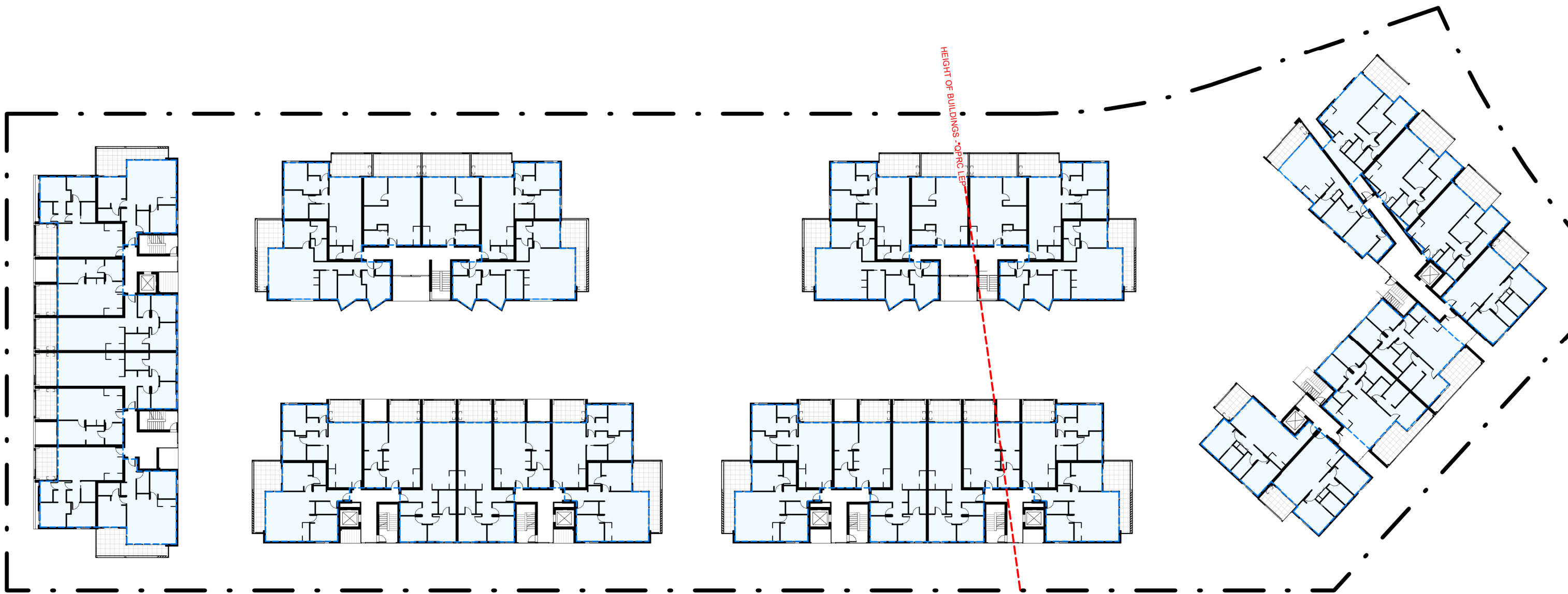
AREA LOWER GROUND LEVEL



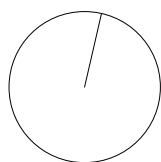
AREA GROUND LEVEL



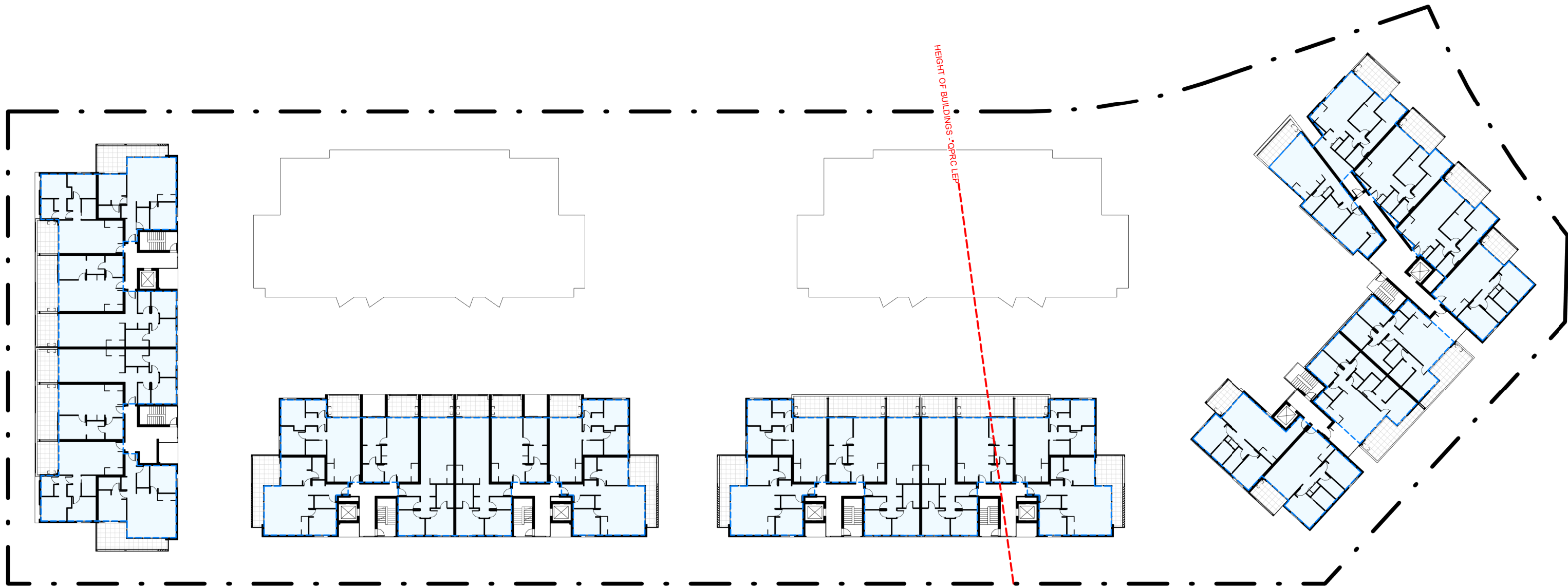
AREA LEVEL 1



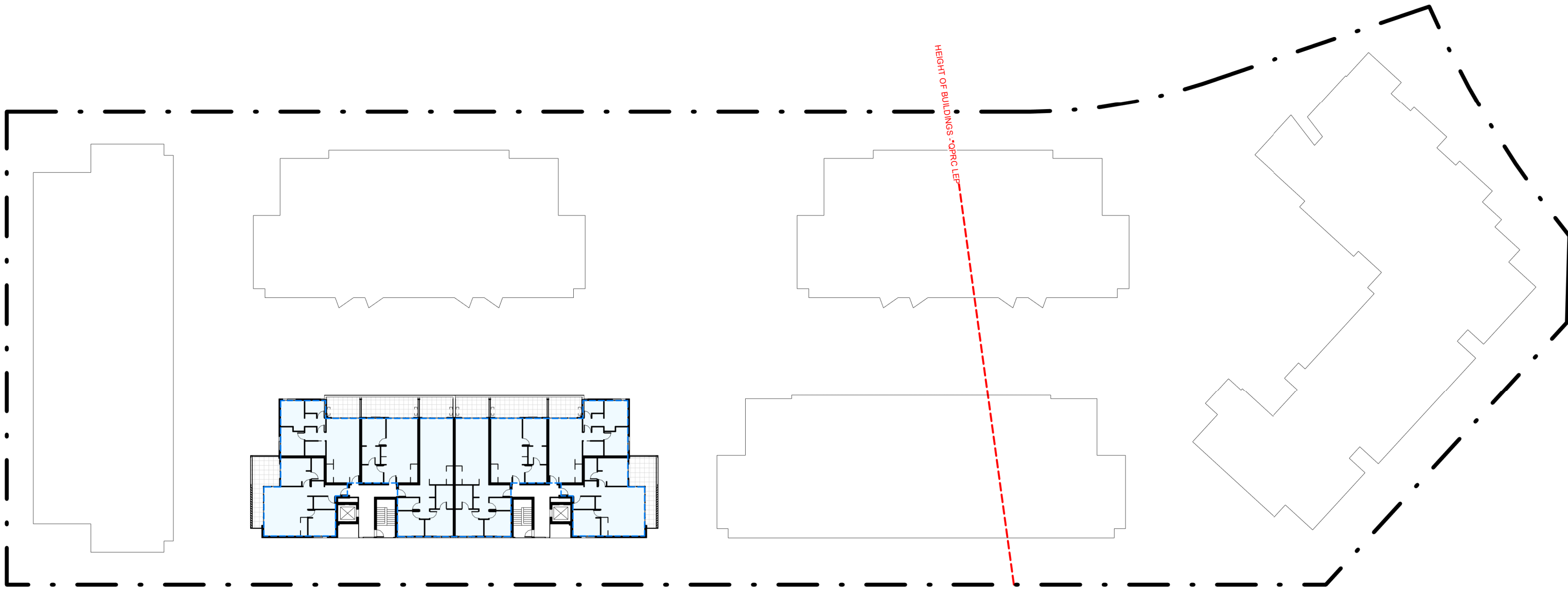
AREA LEVEL 2







AREA LEVEL 3



AREA LEVEL 4

#### GROSS FLOOR AREA

**DEFINITION**

THE SUM OF THE FLOOR AREA OF EACH FLOOR OF A BUILDING MEASURED FROM THE INTERNAL FACE OF EXTERNAL WALLS, OR FROM THE INTERNAL FACE OF WALLS SEPARATING THE BUILDING FROM ANY OTHER BUILDING, MEASURED AT A HEIGHT OF 1.4 METERS ABOVE THE FLOOR, AND INCLUDES:

(A) THE AREA OF A MEZZANINE, AND

(B) HABITABLE ROOMS IN A BASEMENT OR AN ATTIC AND

(C) ANY SHOP, AUDITORIUM, CINEMA, AND THE LIKE, IN A BASEMENT OR ATTIC,

BUT EXCLUDES:

(D) ANY AREA FOR COMMON VERTICAL CIRCULATION, SUCH AS LIFTS AND STAIRS AND

(E) ANY BASEMENT

(F) STORAGE, OR

(G) VEHICULAR ACCESS, LOADING AREAS, GARBAGE AND SERVICES, AND

(H) PLANT ROOMS, LIFT TOWERS AND OTHER AREAS USED EXCLUSIVELY FOR MECHANICAL SERVICES OR DUCTING AND

(I) CAR PARKING TO MEET ANY REQUIREMENTS OF THE CONSENT AUTHORITY (INCLUDING ACCESS TO THAT CAR PARKING), AND

(J) ANY SPACE USED FOR THE LOADING OR UNLOADING OF GOODS (INCLUDING ACCESS TO IT), AND

(K) TERRACES AND BALCONIES WITH OUTER WALLS LESS THAN 1.4 METRES HIGH, AND

(L) VOIDS ABOVE A FLOOR AT THE LEVEL OF A STOREY OR STOREY ABOVE.

DEFINITION AS PER QUEANBEYAN LEP

#### SITE AREA (AS PER SURVEYED BOUNDARY):

TOTAL: 11 901m<sup>2</sup>

#### PERMISSABLE FSR (LEP)

EAST (MAXIMUM RATIO 2:1)  
WEST (NO LIMIT)

EAST SITE AREA : 4 283 m<sup>2</sup>  
EAST GFA: 5 560 m<sup>2</sup>

**TOTAL EAST FSR: 1.3:1**

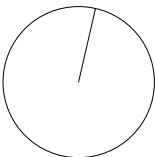
#### APARTMENTS

GROUND FLOOR: 828m<sup>2</sup>  
UPPER GROUND: 2 439m<sup>2</sup>  
LEVEL 1: 3 638m<sup>2</sup>  
LEVEL 2: 3 744m<sup>2</sup>  
LEVEL 3: 2 894m<sup>2</sup>  
LEVEL 4: 628m<sup>2</sup>

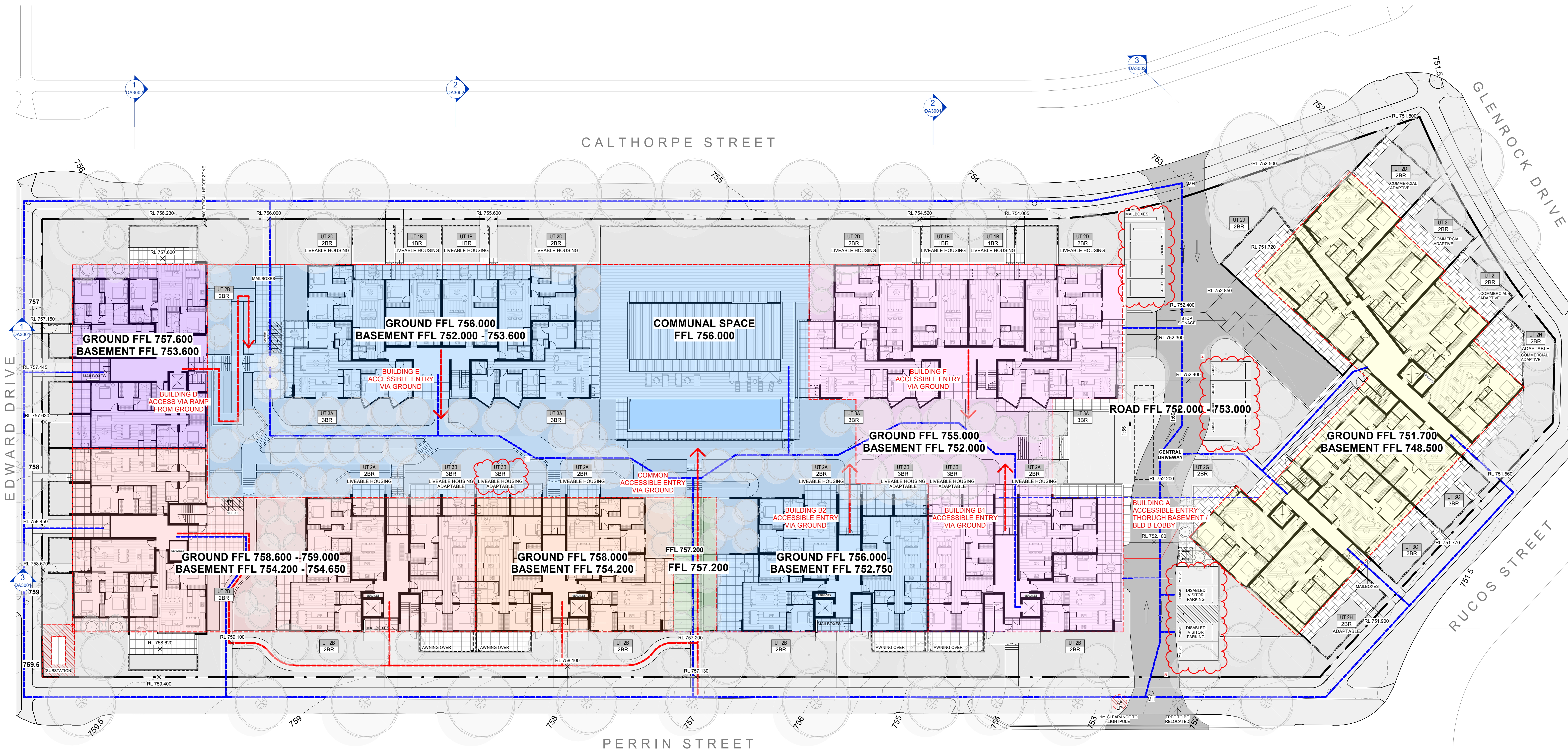
**TOTAL GFA: 13 959m<sup>2</sup>**

#### BUILDING BREAKDOWN

GROUND FLOOR: (A) 828m<sup>2</sup>  
UPPER GROUND: (E) 530m<sup>2</sup> (F) 530m<sup>2</sup> (B) 573m<sup>2</sup> (A) 806m<sup>2</sup>  
LEVEL 1: (E) 530m<sup>2</sup> (F) 530m<sup>2</sup> (D) 573m<sup>2</sup> (B) 628m<sup>2</sup> (A) 806m<sup>2</sup>  
LEVEL 2: (E) 530m<sup>2</sup> (F) 530m<sup>2</sup> (D) 628m<sup>2</sup> (C) 628m<sup>2</sup> (B) 628m<sup>2</sup> (A) 806m<sup>2</sup>  
LEVEL 3: (D) 628m<sup>2</sup> (C) 628m<sup>2</sup> (B) 628m<sup>2</sup> (A) 806m<sup>2</sup>  
LEVEL 4: (C) 628m<sup>2</sup>







**LEGEND**

--- ACCESSIBLE BUILDING EGRESS TO CENTRAL GARDEN SPACE

--- ACCESSIBLE PATH OF TRAVEL FROM ACCESSIBLE VISITOR CAR PARKING

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**GOOGONG**  
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**LOT 642 GOOGONG**

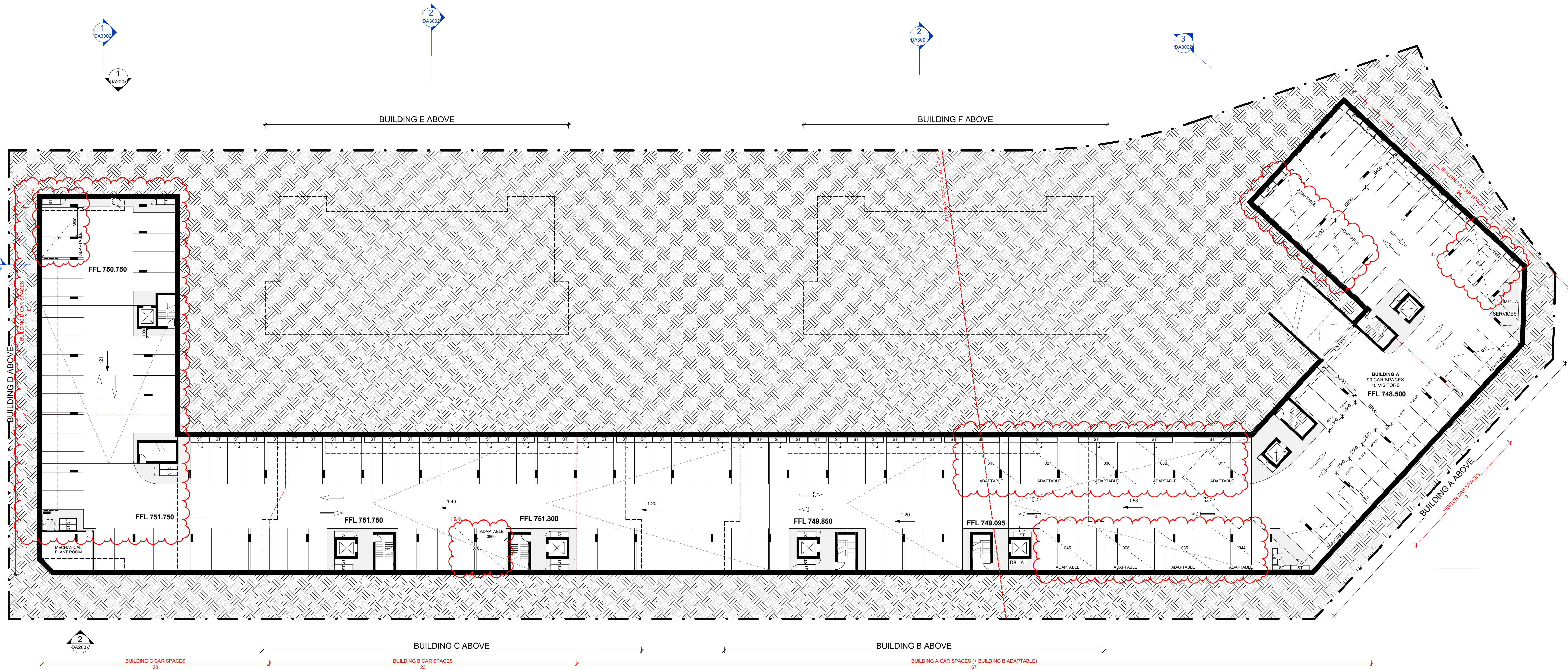
CLIENT  
**BASE DEVELOPMENTS**

DRAWING TITLE  
**PLAN - PEDESTRIAN ACCESS**

SCALE  
**1:250 @ A1**

DRAWING NUMBER  
**DA0401**  
REVISION  
**E**





**ADAPTABLE PARKING**

**OPTION 1**

ADAPTABLE UNITS ASSIGNED 2 CAR SPACES WITH 1 CAR SPACE TO AS4299.

**OPTION 2**

ADAPTABLE UNITS THAT REQUIRE 2 CAR SPACES WITH 1 BEING ADAPTABLE COMPLIANT ARE ASSIGNED 3 CAR SPACES FOR FUTURE PARKING PROVISION FOR 1 CAR SPACE TO AS4299.

**STORAGE**

LOWER GROUND	85
BASEMENT 1	78
<b>TOTAL</b>	<b>163</b>

**DWELLINGS**

	BUILDING A	BUILDING B	BUILDING C	BUILDING D	BUILDING E	BUILDING F
LEVEL 4	-	-	8	-	-	-
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LOWER GROUND	9	-	-	-	-	-
BASEMENT	-	-	-	-	-	-
<b>TOTAL</b>	<b>45</b>	<b>30</b>	<b>30</b>	<b>22</b>	<b>18</b>	<b>18</b>

**DWELLING MIX**

	%	QTY
3 BED	17%	28
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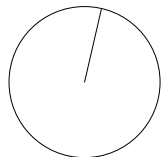
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VISITOR	9	3	-	-	-	9

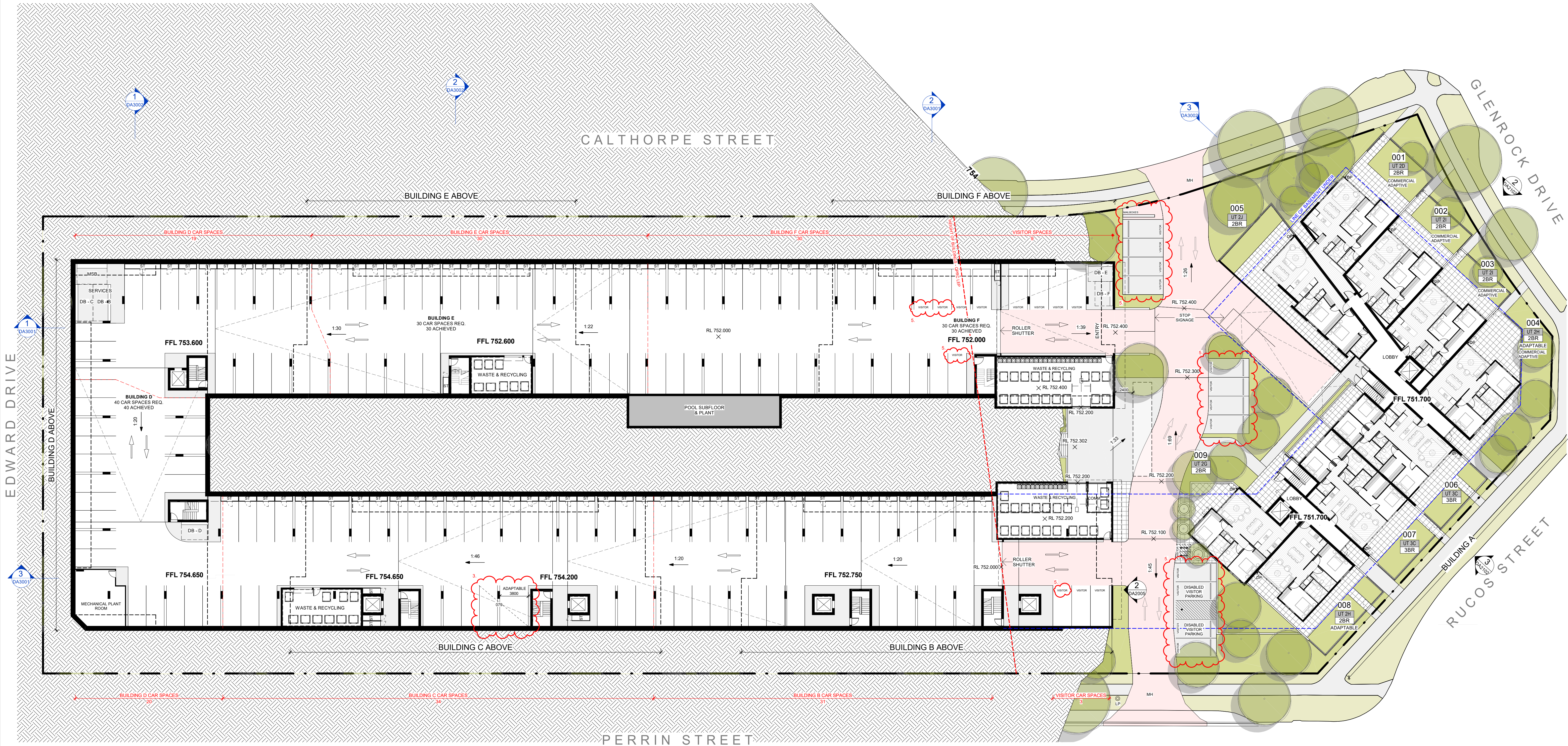
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296 REQUIRED

**33 REQUIRED**  
(21 IN BASEMENT)  
(12 ON GRADE)  
(0 ON STREET)  
**TOTAL ACHIEVED 33**

1. ADAPTABLE UNIT UT049 REPLACED WITH UT078  
2. BASEMENT 1 EXTENDED FOR ADDITIONAL PARKING. BASEMENT PARKING ADJUSTMENTS MADE.  
3. ADAPTABLE PARKING OPTION 1  
4. ADAPTABLE PARKING OPTION 2  
5. VISITOR PARKING UPDATES

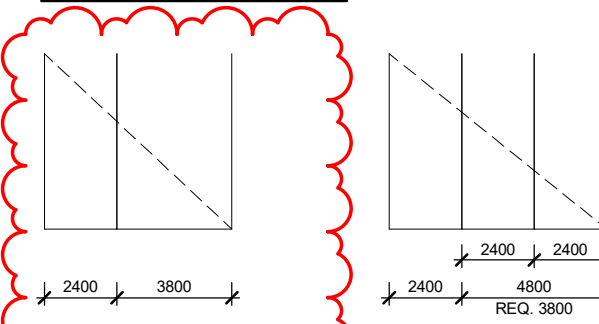






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#### ADAPTABLE PARKING



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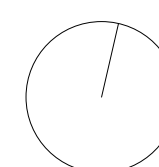
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CLIENT  
**BASE DEVELOPMENTS**



DRAWING TITLE  
**FLOOR PLANS - LOWER GROUND**

SCALE  
**1:250 @ A1**

DRAWING NUMBER  
**DA1002**  
REVISION  
**E**









1. ADAPTABLE UNIT UT049 REPLACED WITH UT078

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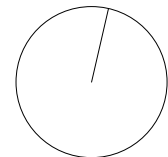
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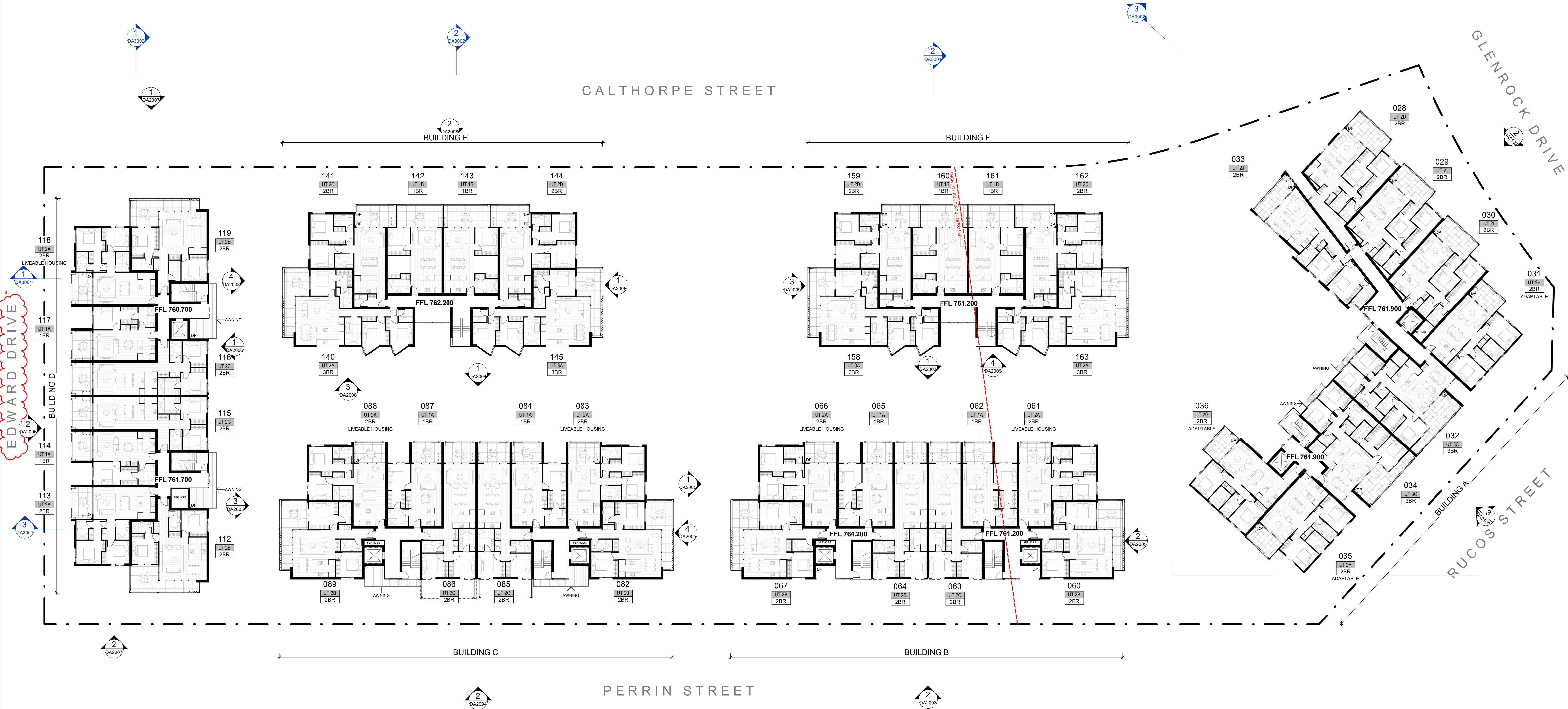


DRAWING TITLE  
**FLOOR PLANS - LEVEL 1**

SCALE  
**1:250 @ A1**

DRAWING NUMBER  
**DA1004**  
REVISION  
**D**





8. PLAN INCLUSIONS AND ERRORS

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stewartarchitecture.com.au. Primary Nominee Marcus Graham ACT 1090. NSW 10921. ABN 89 765 826

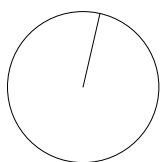
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REV	DESCRIPTION
A	DRAFT DEVELOPMENT APPLICATION
B	DEVELOPMENT APPLICATION
C	ISSUE FOR DA RFI

DATE  
10/11/2023  
27/11/2023  
02/07/2024

PROJECT NAME  
**GOOGONG**  
PROJECT NUMBER  
**2319**  
LOCATION  
**LOT 642 GOOGONG**

CLIENT  
**BASE DEVELOPMENTS**

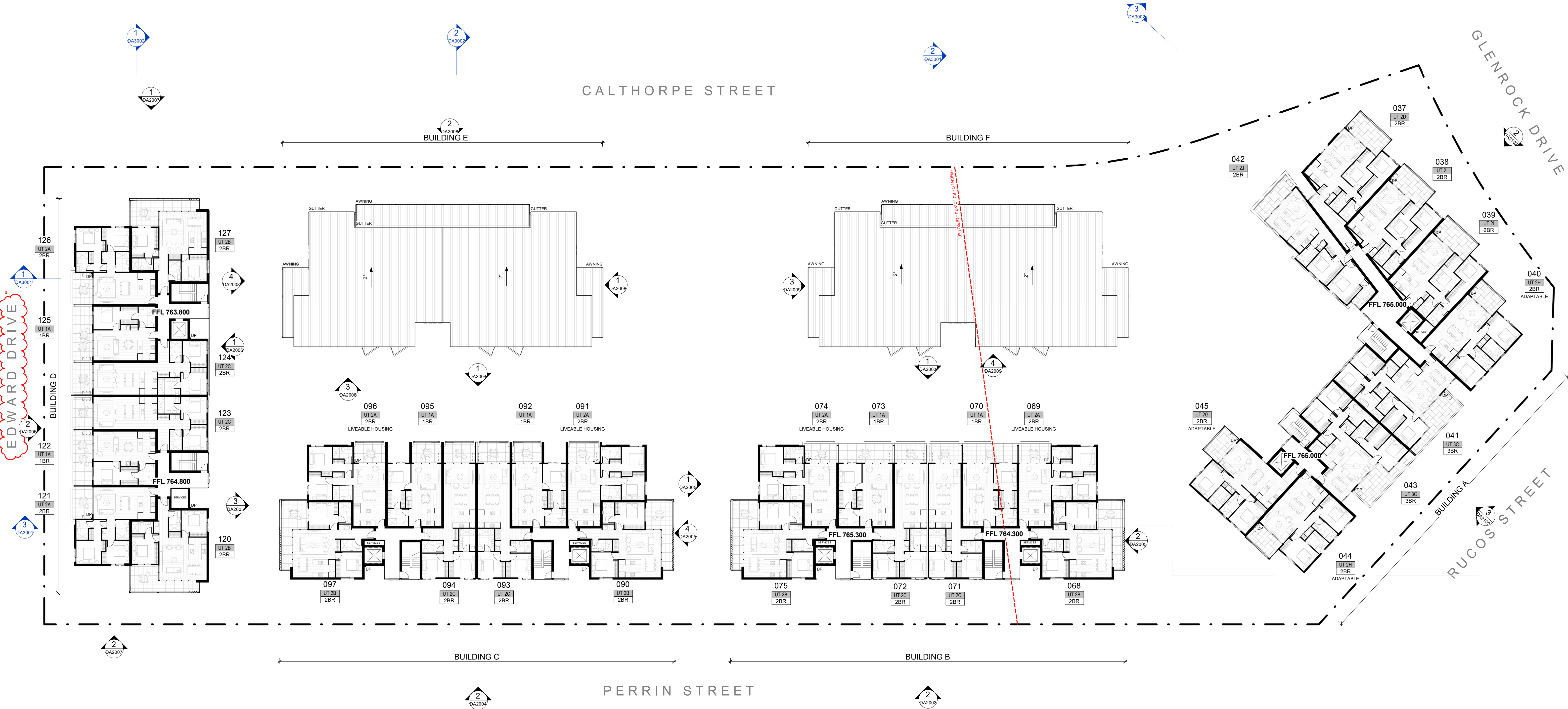


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**FLOOR PLANS - LEVEL 2**

SCALE  
**1:250 @ A1**

DRAWING NUMBER  
**DA1005**  
REVISION  
**C**





8. PLAN INCLUSIONS AND ERRORS

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stewartarchitecture.com.au. Primary Nominee Marcus Graham ACT 1090. NSW 10921. ABN 89 765 826

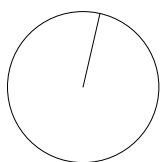
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REV	DESCRIPTION
A	DRAFT DEVELOPMENT APPLICATION
B	DEVELOPMENT APPLICATION
C	ISSUE FOR DA RFI

DATE  
10/11/2023  
27/11/2023  
02/07/2024

PROJECT NAME  
**GOOGONG**  
PROJECT NUMBER  
**2319**  
LOCATION  
**LOT 642 GOOGONG**

CLIENT  
**BASE DEVELOPMENTS**

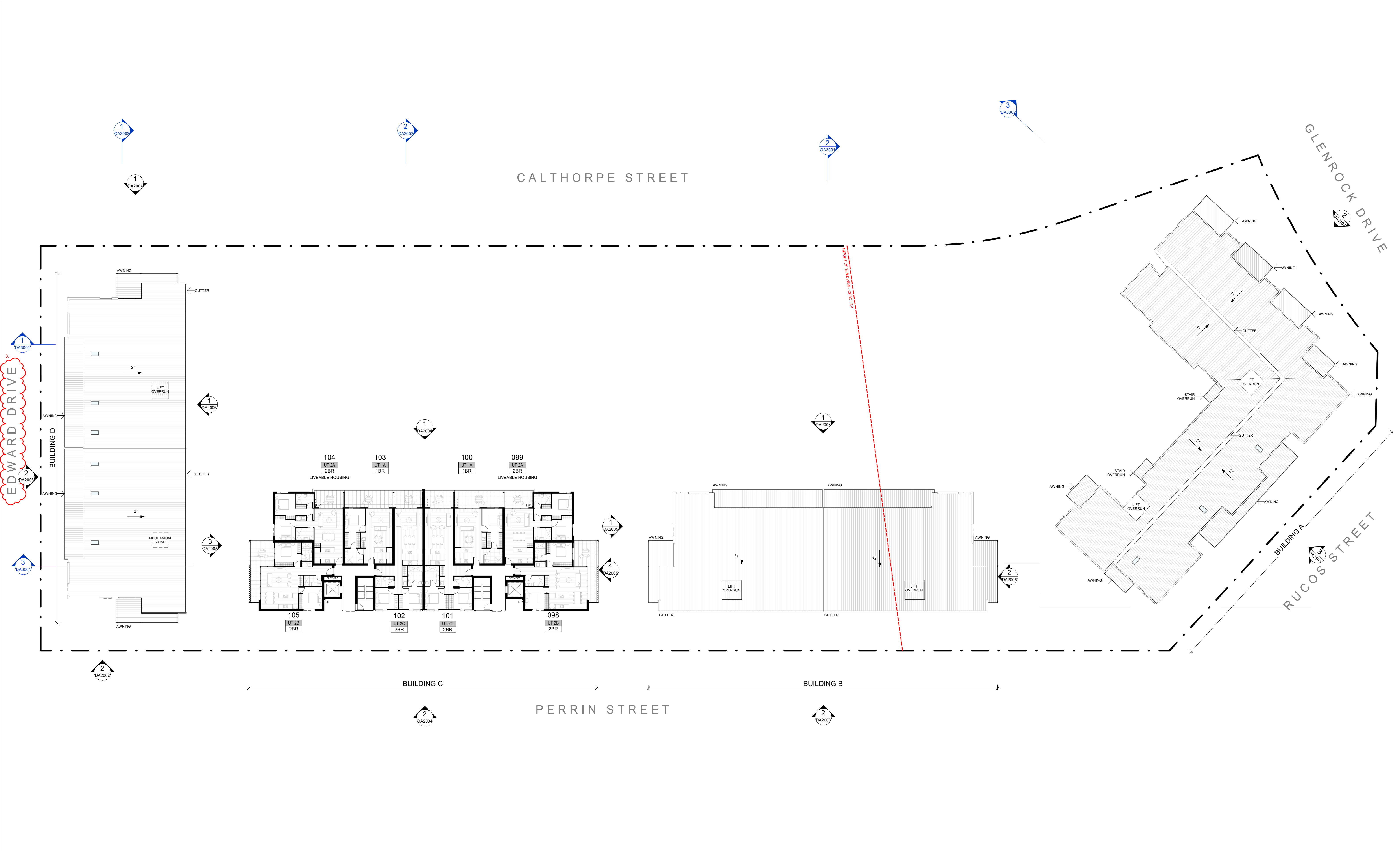


DRAWING TITLE  
**FLOOR PLANS - LEVEL 3**

SCALE  
**1:250 @ A1**

DRAWING NUMBER  
**DA1006**  
REVISION  
**C**





8. PLAN INCLUSIONS AND ERRORS

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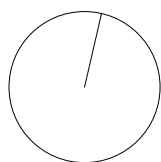
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REV	DESCRIPTION
A	DRAFT DEVELOPMENT APPLICATION
B	DEVELOPMENT APPLICATION

DATE
10/11/2023
27/11/2023

PROJECT NAME	GOOGONG
PROJECT NUMBER	2319
LOCATION	LOT 642 GOOGONG

CLIENT	BASE DEVELOPMENTS
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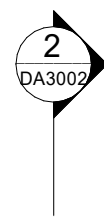
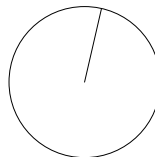


DRAWING TITLE	FLOOR PLANS - LEVEL 4
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SCALE	1:250 @ A1
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DRAWING NUMBER	DA1007
REVISION	B





CALTHORPE STREET



PERRIN STREET

GLENROCK DRIVE

RUCOS STREET

BUILDING C



MATERIAL FINISHES SCHEDULE		
BA1	BALUSTRADE	FRAMELESS GLASS
CW1	COURTYARD WALL	SANDSTONE FACE FINISH
FE1	FENCE	METAL PALISADE, DARK GREY
FC1	FIBRE CEMENT CLADDING	VERTICAL GROOVE, GREEN
FC2	FIBRE CEMENT CLADDING	SMOOTH FINISH, OFF WHITE
FC3	FIBRE CEMENT CLADDING	SMOOTH FINISH, GREEN
GA1	GATE	METAL PALISADE, DARK GREY
MR1	METAL ROOF	METAL ROOF, GREEN FINISH
PC1	CONCRETE WALL	PRECAST CONCRETE TEXTURED FINISH, OFF WHITE
PC2	CONCRETE WALL	PRECAST CONCRETE SMOOTH FINISH, OFF WHITE
SC1	SCREEN	PERFORATED METAL, GREEN
SC2	SCREEN	ALUMINIUM LOUVRES, GREEN
SO1	SOFFIT	FIBRE CEMENT SOFFIT, PAINTED GREEN FINISH
SO2	SOFFIT	CONCRETE SOFFIT
SP1	SPANDREL PANEL GREEN	SPANDREL METAL PANEL, GREEN
ST1	STEELWORK	STEEL, GREEN FINISH
WF1	WINDOW FRAME	WINDOW FRAME, DARK GREY





MATERIAL FINISHES SCHEDULE		
BA1	BALUSTRADE	FRAMELESS GLASS
CW1	COURTYARD WALL	SANDSTONE FACE FINISH
FE1	FENCE	METAL PALISADE; DARK GREY
FC1	FIBRE CEMENT CLADDING	VERTICAL GROOVE; GREEN
FC2	FIBRE CEMENT CLADDING	SMOOTH FINISH; OFF WHITE
FC3	FIBRE CEMENT CLADDING	SMOOTH FINISH; GREEN
GA1	GATE	METAL PALISADE; DARK GREY
MR1	METAL ROOF	METAL ROOF; GREEN FINISH
PC1	CONCRETE WALL	PRECAST CONCRETE TEXTURED FINISH; OFF WHITE
PC2	CONCRETE WALL	PRECAST CONCRETE SMOOTH FINISH; OFF WHITE
SC1	SCREEN	PERFORATED METAL; GREEN
SC2	SCREEN	ALUMINIUM LOUVRES; GREEN
SO1	SOFFIT	FIBRE CEMENT SOFFIT; PAINTED GREEN FINISH
SO2	SOFFIT	CONCRETE SOFFIT
SP1	SPANDREL PANEL GREEN	SPANDREL METAL PANEL; GREEN
ST1	STEELWORK	STEEL; GREEN FINISH
WF1	WINDOW FRAME	WINDOW FRAME; DARK GREY



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A	DRAFT DEVELOPMENT APPLICATION
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DATE
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27/11/2023

PROJECT NAME  
**GOOGONG**  
PROJECT NUMBER  
**2319**  
LOCATION  
**LOT 642 GOOGONG**

CLIENT  
**BASE DEVELOPMENTS**

DRAWING TITLE  
**ELEVATIONS - BUILDING A**  
SCALE  
**1:100 @ A1**

DRAWING NUMBER  
**DA2002**  
REVISION  
**B**



MATERIAL FINISHES SCHEDULE		
BA1	BALUSTRADE	FRAMELESS GLASS
CW1	COURTYARD WALL	SANDSTONE FACE FINISH
FE1	FENCE	METAL PALISADE; DARK GREY
FC1	FIBRE CEMENT CLADDING	VERTICAL GROOVE; GREEN
FC2	FIBRE CEMENT CLADDING	SMOOTH FINISH; OFF WHITE
FC3	FIBRE CEMENT CLADDING	SMOOTH FINISH; GREEN
GA1	GATE	METAL PALISADE; DARK GREY
MR1	METAL ROOF	METAL ROOF; GREEN FINISH
PC1	CONCRETE WALL	PRECAST CONCRETE TEXTURED FINISH; OFF WHITE
PC2	CONCRETE WALL	PRECAST CONCRETE SMOOTH FINISH; OFF WHITE
SC1	SCREEN	PERFORATED METAL; GREEN
SC2	SCREEN	ALUMINIUM LOUVRES; GREEN
SO1	SOFFIT	FIBRE CEMENT SOFFIT; PAINTED GREEN FINISH
SO2	SOFFIT	CONCRETE SOFFIT
SP1	SPANDREL PANEL GREEN	SPANDREL METAL PANEL; GREEN
ST1	STEELWORK	STEEL; GREEN FINISH
WF1	WINDOW FRAME	WINDOW FRAME; DARK GREY



NORTH



SOUTH

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REV	DESCRIPTION
A	DRAFT DEVELOPMENT APPLICATION
B	DEVELOPMENT APPLICATION

DATE  
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27/11/2023

PROJECT NAME  
**GOOGONG**  
PROJECT NUMBER  
**2319**  
LOCATION  
**LOT 642 GOOGONG**

CLIENT  
**BASE DEVELOPMENTS**

DRAWING TITLE  
**ELEVATIONS - BUILDING B**

SCALE  
**1:100 @ A1**

DRAWING NUMBER  
**DA2003**  
REVISION  
**B**



MATERIAL FINISHES SCHEDULE

BA1	BALUSTRADE	FRAMELESS GLASS
CW1	COURTYARD WALL	SANDSTONE FACE FINISH
FE1	FENCE	METAL PALISADE; DARK GREY
FC1	FIBRE CEMENT CLADDING	VERTICAL GROOVE; GREEN
FC2	FIBRE CEMENT CLADDING	SMOOTH FINISH; OFF WHITE
FC3	FIBRE CEMENT CLADDING	SMOOTH FINISH; GREEN
GA1	GATE	METAL PALISADE; DARK GREY
MR1	METAL ROOF	METAL ROOF; GREEN FINISH
PC1	CONCRETE WALL	PRECAST CONCRETE TEXTURED FINISH; OFF WHITE
PC2	CONCRETE WALL	PRECAST CONCRETE SMOOTH FINISH; OFF WHITE
SC1	SCREEN	PERFORATED METAL; GREEN
SC2	SCREEN	ALUMINIUM LOUVRES; GREEN
SO1	SOFFIT	FIBRE CEMENT SOFFIT; PAINTED GREEN FINISH
SO2	SOFFIT	CONCRETE SOFFIT
SP1	SPANDREL PANEL GREEN	SPANDREL METAL PANEL; GREEN
ST1	STEELWORK	STEEL; GREEN FINISH
WF1	WINDOW FRAME	WINDOW FRAME; DARK GREY



BASEMENT

BASEMENT

NORTH



BASEMENT

BASEMENT

SOUTH

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REV	DESCRIPTION
A	DRAFT DEVELOPMENT APPLICATION
B	DEVELOPMENT APPLICATION

DATE
10/11/2023
27/11/2023

PROJECT NAME  
**GOOGONG**  
PROJECT NUMBER  
**2319**  
LOCATION  
**LOT 642 GOOGONG**

CLIENT  
**BASE DEVELOPMENTS**

DRAWING TITLE  
**ELEVATIONS - BUILDING C**

SCALE  
**1:100 @ A1**

DRAWING NUMBER  
**DA2004**  
REVISION  
**B**



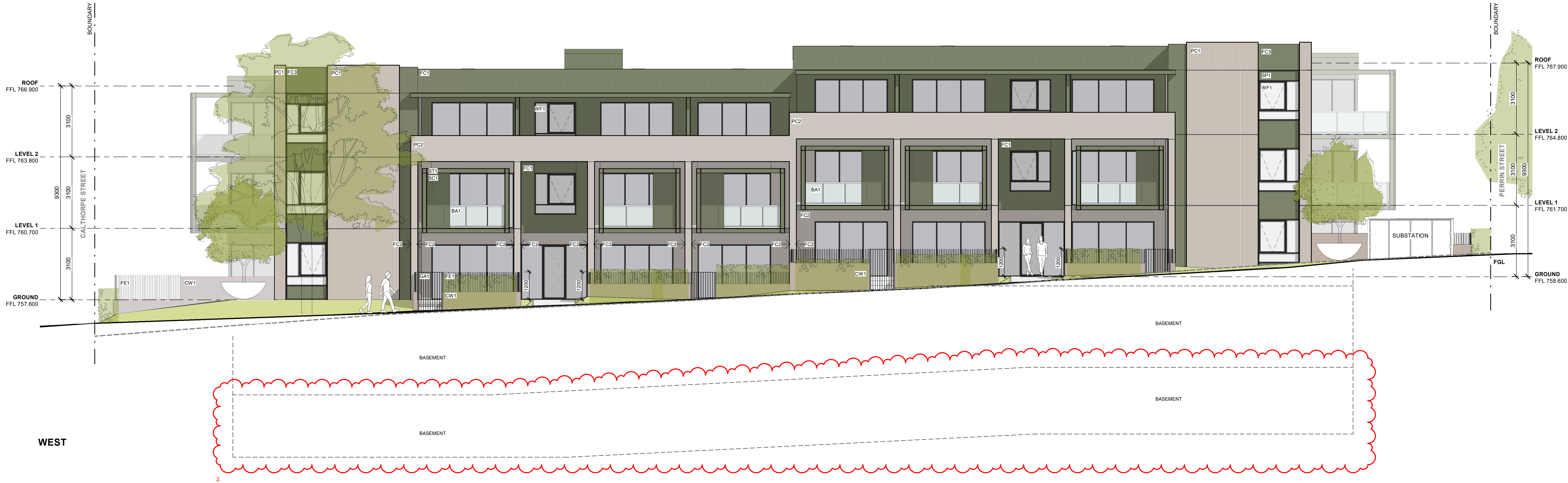
MATERIAL FINISHES SCHEDULE		
BA1	BALUSTRADE	FRAMELESS GLASS
CW1	COURTYARD WALL	SANDSTONE FACE FINISH
FE1	FENCE	METAL PALISADE, DARK GREY
FC1	FIBRE CEMENT CLADDING	VERTICAL GROOVE, GREEN
FC2	FIBRE CEMENT CLADDING	SMOOTH FINISH, OFF WHITE
FC3	FIBRE CEMENT CLADDING	SMOOTH FINISH, GREEN
GA1	GATE	METAL PALISADE, DARK GREY
MR1	METAL ROOF	METAL ROOF, GREEN FINISH
PC1	CONCRETE WALL	PRECAST CONCRETE TEXTURED FINISH, OFF WHITE
PC2	CONCRETE WALL	PRECAST CONCRETE SMOOTH FINISH, OFF WHITE
SC1	SCREEN	PERFORATED METAL, GREEN
SC2	SCREEN	ALUMINIUM LOUVRES, GREEN
SO1	SOFFIT	FIBRE CEMENT SOFFIT, PAINTED GREEN FINISH
SO2	SOFFIT	CONCRETE SOFFIT
SP1	SPANDREL PANEL GREEN	SPANDREL METAL PANEL, GREEN
ST1	STEELWORK	STEEL, GREEN FINISH
WF1	WINDOW FRAME	WINDOW FRAME, DARK GREY





MATERIAL FINISHES SCHEDULE

BA1	BALUSTRADE	FRAMELESS GLASS
CW1	COURTYARD WALL	SANDSTONE FACE FINISH
FE1	FENCE	METAL PALISADE; DARK GREY
FC1	FIBRE CEMENT CLADDING	VERTICAL GROOVE; GREEN
FC2	FIBRE CEMENT CLADDING	SMOOTH FINISH; OFF WHITE
FC3	FIBRE CEMENT CLADDING	SMOOTH FINISH; GREEN
GA1	GATE	METAL PALISADE; DARK GREY
MR1	METAL ROOF	METAL ROOF; GREEN FINISH
PC1	CONCRETE WALL	PRECAST CONCRETE TEXTURED FINISH; OFF WHITE
PC2	CONCRETE WALL	PRECAST CONCRETE SMOOTH FINISH; OFF WHITE
SC1	SCREEN	PERFORATED METAL; GREEN
SC2	SCREEN	ALUMINIUM LOUVRES; GREEN
SO1	SOFFIT	FIBRE CEMENT SOFFIT; PAINTED GREEN FINISH
SO2	SOFFIT	CONCRETE SOFFIT
SP1	SPANDREL PANEL GREEN	SPANDREL METAL PANEL; GREEN
ST1	STEELWORK	STEEL; GREEN FINISH
WF1	WINDOW FRAME	WINDOW FRAME; DARK GREY



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DATE

10/11/2023

27/11/2023

29/07/2024

PROJECT NAME

GOOGONG

PROJECT NUMBER

2319

LOCATION

LOT 642 GOOGONG

CLIENT

BASE DEVELOPMENTS

DRAWING TITLE

ELEVATIONS - BUILDING D

SCALE

1:100 @ A1

DRAWING NUMBER

DA2006

REVISION

C



MATERIAL FINISHES SCHEDULE		
BA1	BALUSTRADE	FRAMELESS GLASS
CW1	COURTYARD WALL	SANDSTONE FACE FINISH
FE1	FENCE	METAL PALISADE; DARK GREY
FC1	FIBRE CEMENT CLADDING	VERTICAL GROOVE; GREEN
FC2	FIBRE CEMENT CLADDING	SMOOTH FINISH; OFF WHITE
FC3	FIBRE CEMENT CLADDING	SMOOTH FINISH; GREEN
GA1	GATE	METAL PALISADE; DARK GREY
MR1	METAL ROOF	METAL ROOF; GREEN FINISH
PC1	CONCRETE WALL	PRECAST CONCRETE TEXTURED FINISH; OFF WHITE
PC2	CONCRETE WALL	PRECAST CONCRETE SMOOTH FINISH; OFF WHITE
SC1	SCREEN	PERFORATED METAL; GREEN
SC2	SCREEN	ALUMINIUM LOUVRES; GREEN
SO1	SOFFIT	FIBRE CEMENT SOFFIT; PAINTED GREEN FINISH
SO2	SOFFIT	CONCRETE SOFFIT
SP1	SPANDREL PANEL GREEN	SPANDREL METAL PANEL; GREEN
ST1	STEELWORK	STEEL; GREEN FINISH
WF1	WINDOW FRAME	WINDOW FRAME; DARK GREY



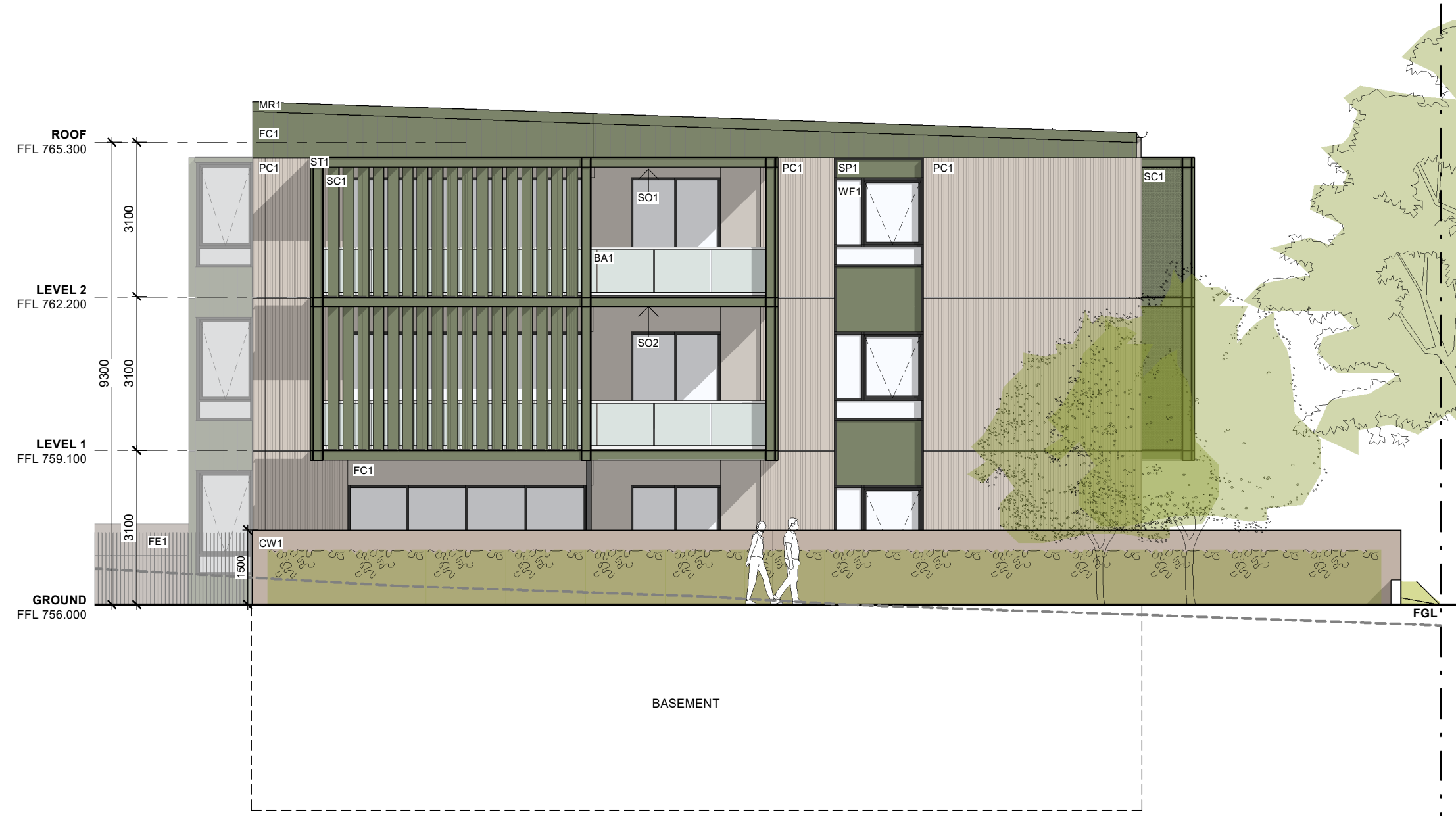




NORTH



SOUTH



EAST



WEST





NORTH



SOUTH

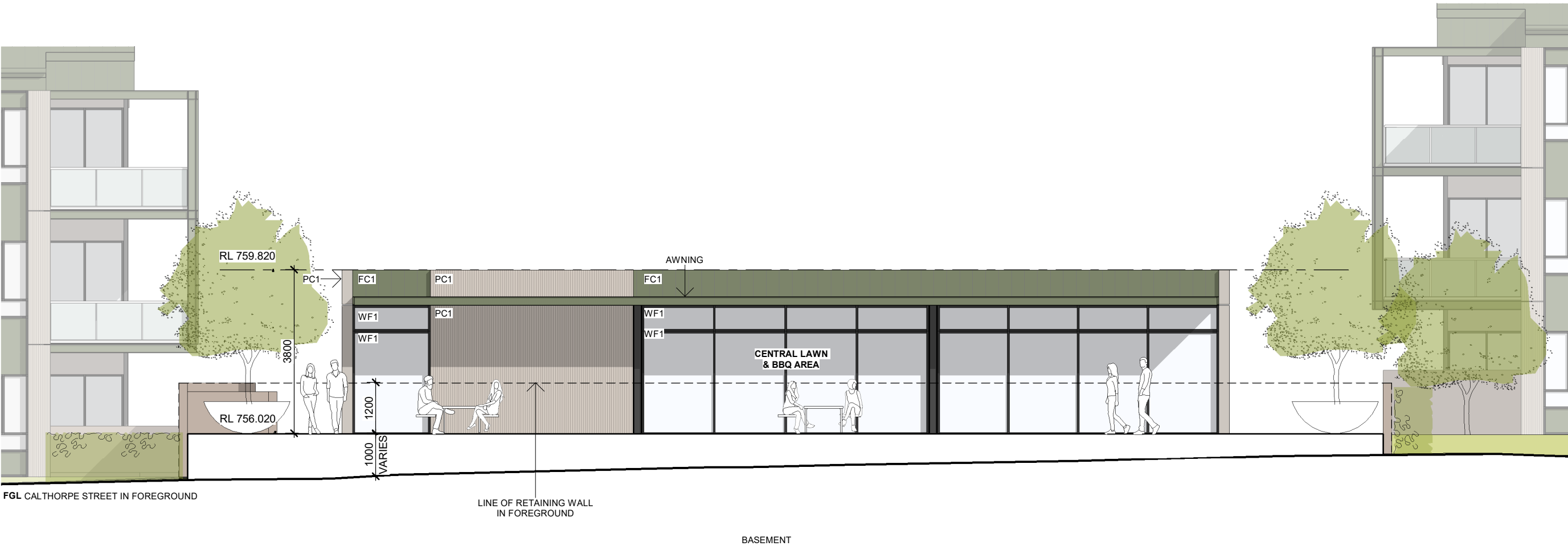


EAST



WEST





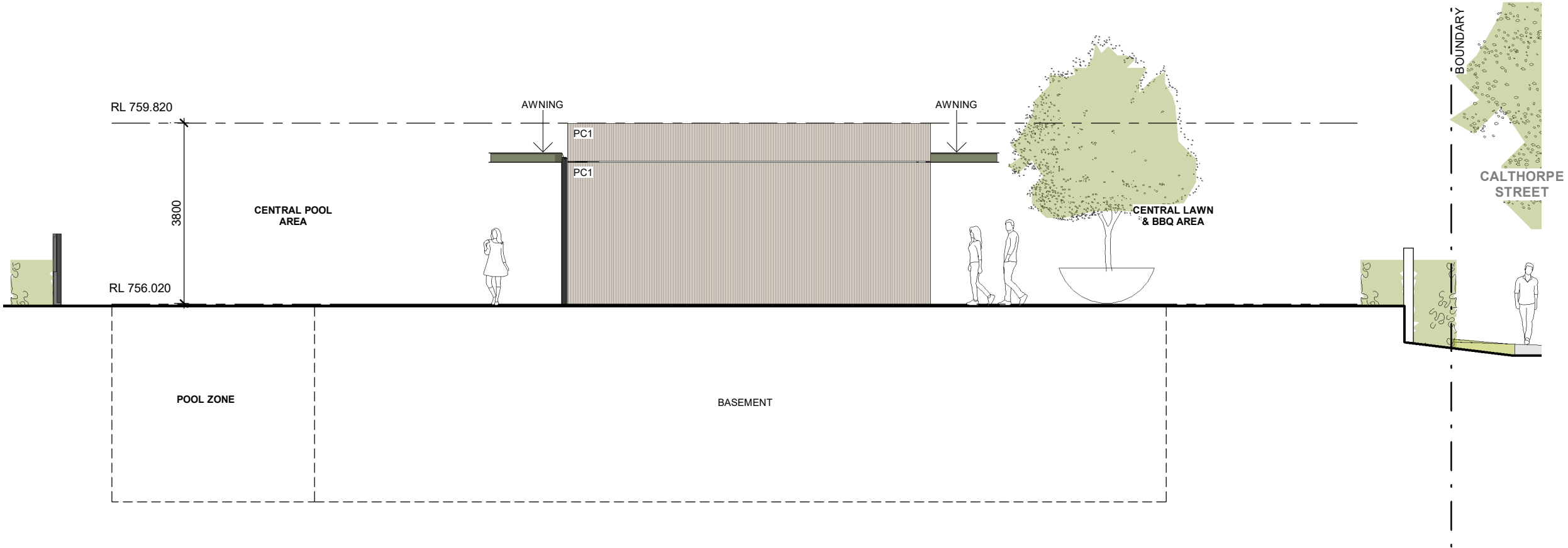
COMMUNAL LOUNGE - NORTH



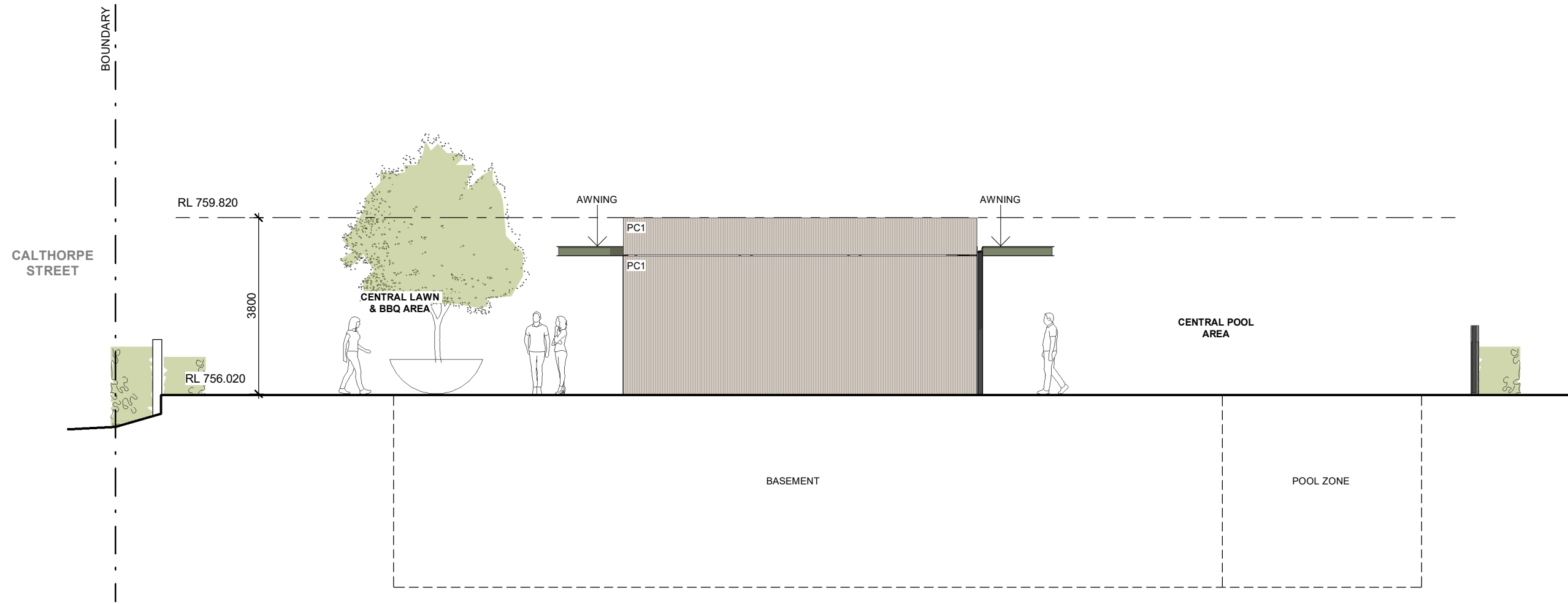
COMMUNAL LOUNGE - SOUTH

MATERIAL FINISHES SCHEDULE

BA1	BALUSTRADE	FRAMELESS GLASS
CW1	COURTYARD WALL	SANDSTONE FACE FINISH
FE1	FENCE	METAL PALISADE; DARK GREY
FC1	FIBRE CEMENT CLADDING	VERTICAL GROOVE; GREEN
FC2	FIBRE CEMENT CLADDING	SMOOTH FINISH; OFF WHITE
FC3	FIBRE CEMENT CLADDING	SMOOTH FINISH; GREEN
GA1	GATE	METAL PALISADE; DARK GREY
MR1	METAL ROOF	METAL ROOF; GREEN FINISH
PC1	CONCRETE WALL	PRECAST CONCRETE TEXTURED FINISH; OFF WHITE
PC2	CONCRETE WALL	PRECAST CONCRETE SMOOTH FINISH; OFF WHITE
SC1	SCREEN	PERFORATED METAL; GREEN
SC2	SCREEN	ALUMINIUM LOUVRES; GREEN
SO1	SOFFIT	FIBRE CEMENT SOFFIT; PAINTED GREEN FINISH
SO2	SOFFIT	CONCRETE SOFFIT
SP1	SPANDREL PANEL GREEN	SPANDREL METAL PANEL; GREEN
ST1	STEELWORK	STEEL; GREEN FINISH
WF1	WINDOW FRAME	WINDOW FRAME; DARK GREY

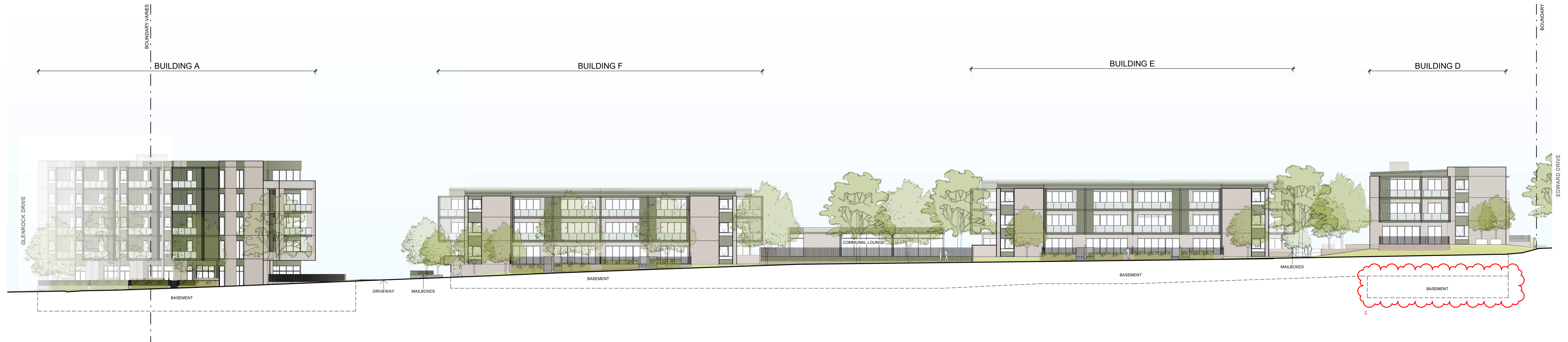


COMMUNAL LOUNGE - EAST



COMMUNAL LOUNGE - WEST





STREETSCAPE - CALTHORPE STREET



STREETSCAPE - PERRIN STREET

2. BASEMENT 1 EXTENDED FOR ADDITIONAL PARKING.  
BASEMENT PARKING ADJUSTMENTS MADE.

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27/11/2023
29/07/2024

PROJECT NAME  
**GOOGONG**  
PROJECT NUMBER  
**2319**  
LOCATION  
**LOT 642 GOOGONG**

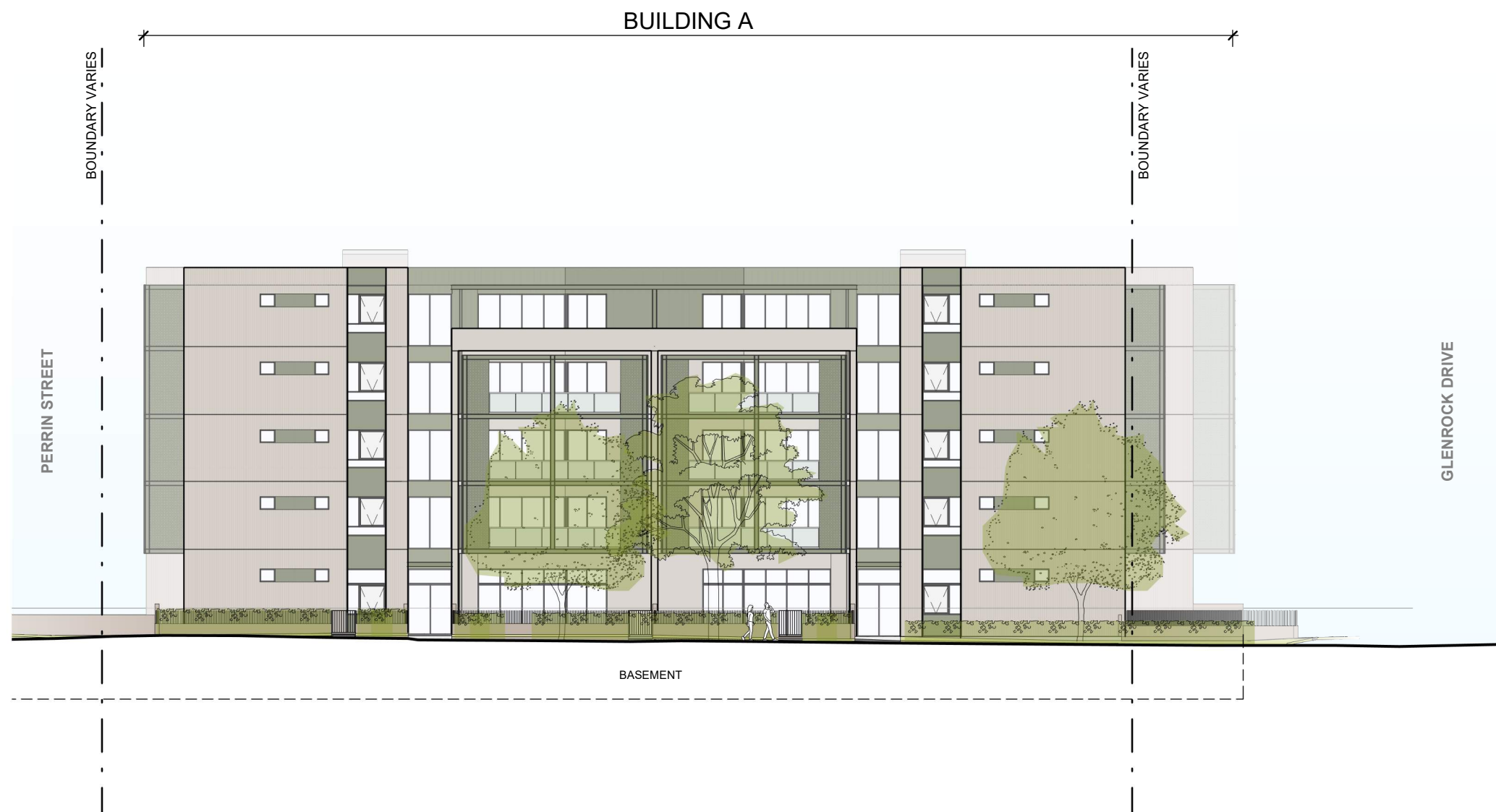
CLIENT  
**BASE DEVELOPMENTS**

DRAWING TITLE  
**ELEVATIONS - COMPOSITE  
STREETSCAPE**

SCALE  
**1:250 @ A1**

DRAWING NUMBER  
**DA2101**  
REVISION  
**C**

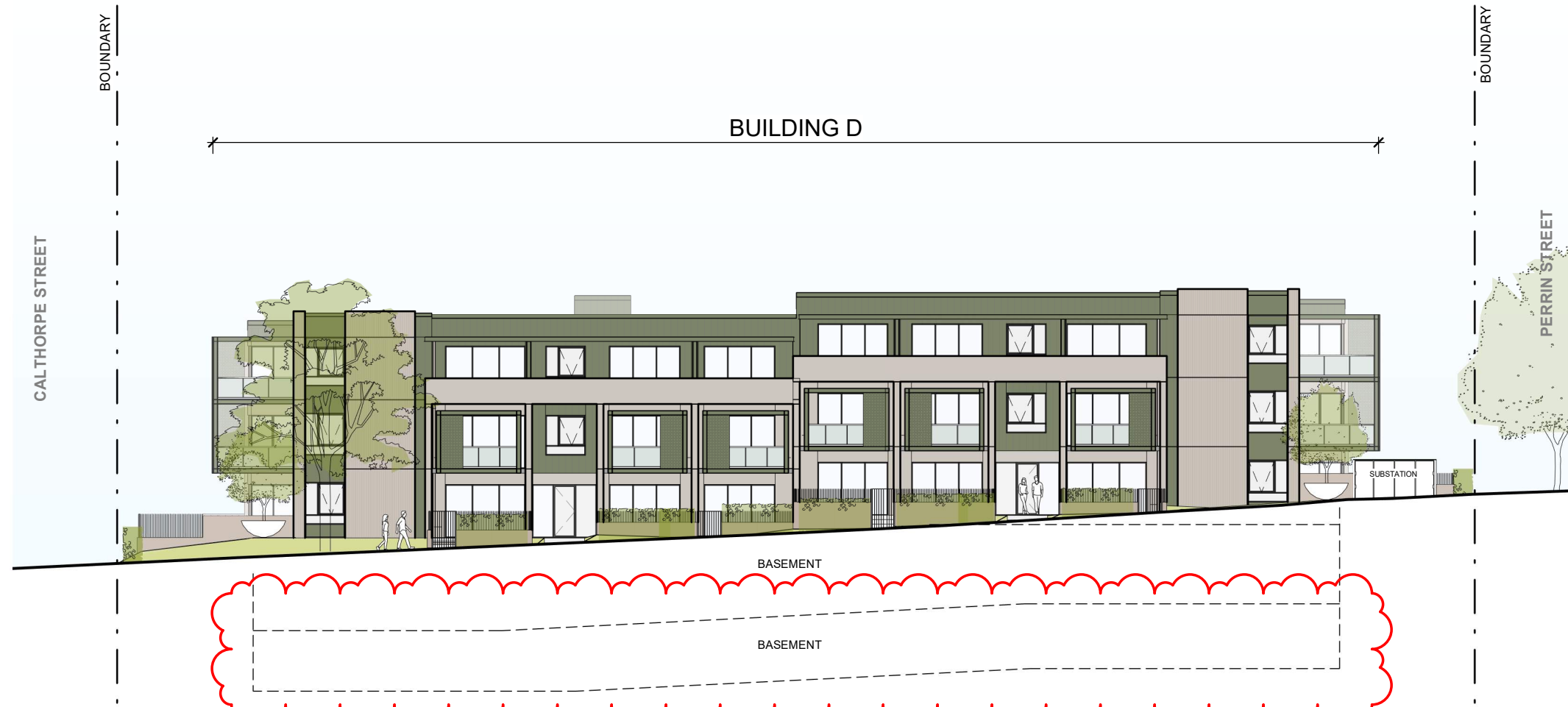




STREETSCAPE - RUCOS STREET



STREETSCAPE - GLENROCK DRIVE



STREETSCAPE - EDWARD DRIVE

2. BASEMENT 1 EXTENDED FOR ADDITIONAL PARKING.  
BASEMENT PARKING ADJUSTMENTS MADE.

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27/11/2023
29/07/2024

PROJECT NAME  
**GOOGONG**  
PROJECT NUMBER  
**2319**  
LOCATION  
**LOT 642 GOOGONG**

CLIENT  
**BASE DEVELOPMENTS**

DRAWING TITLE  
**ELEVATIONS - COMPOSITE  
STREETSCAPE**

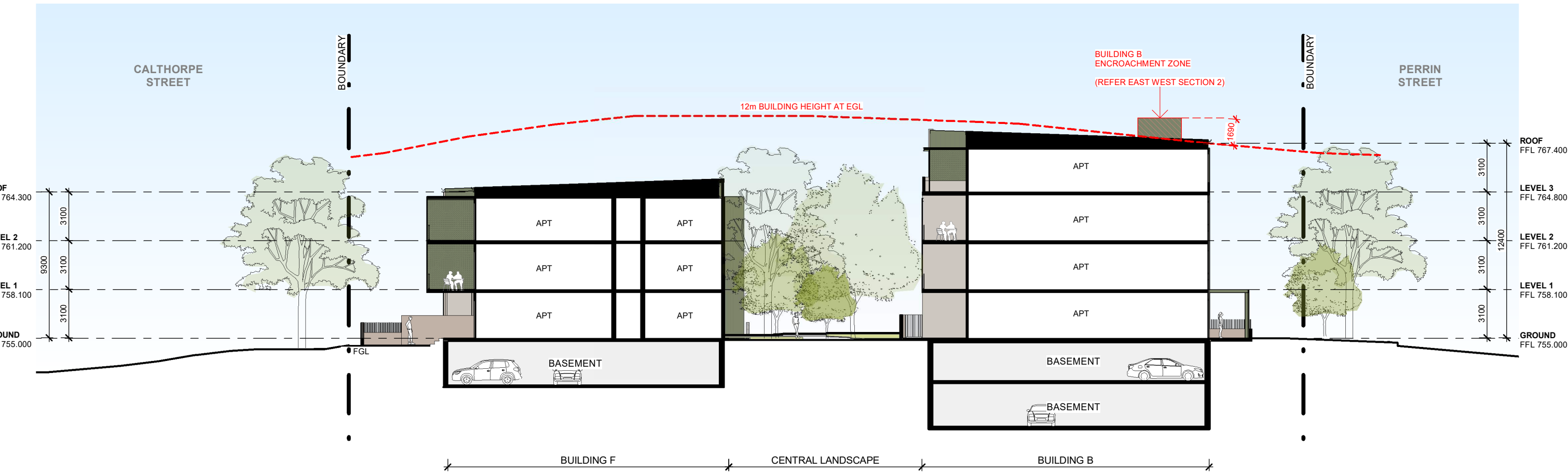
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DRAWING NUMBER  
**DA2102**  
REVISION  
**C**

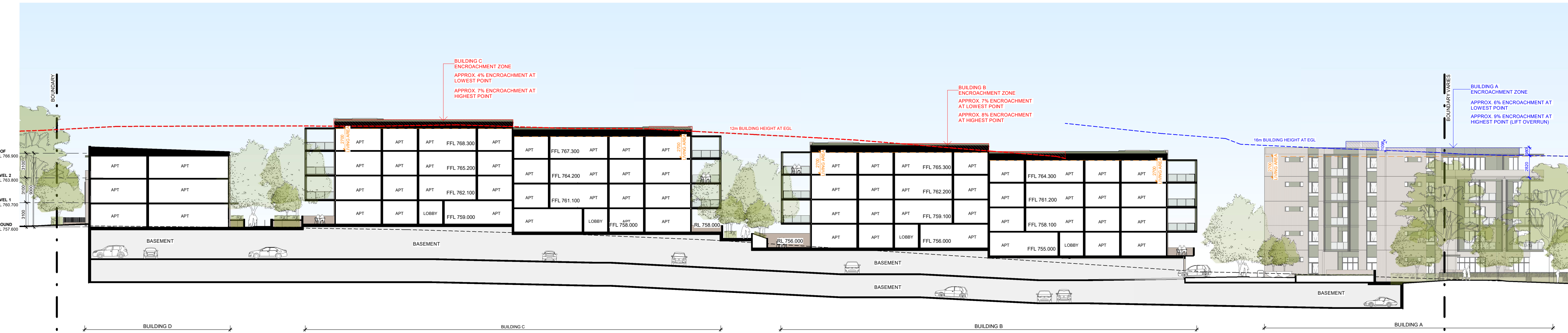




OVERALL SECTION - EAST WEST 1



OVERALL SECTION - NORTH SOUTH



OVERALL SECTION - EAST WEST 2

2. BASEMENT 1 EXTENDED FOR ADDITIONAL PARKING.  
BASEMENT PARKING ADJUSTMENTS MADE.

**StewartArchitecture**

Canberra Studio: 10/285 Canberra Avenue Fyshwick ACT 2609. P: +61 2 6228 1200  
Sydney Studio: 2/233-235 Bulwara Road Ultimo NSW 2007. P: +61 2 9081 4780  
stewartarchitecture.com.au, Primary Nominee Marcus Graham ACT 1090, NSW 10921, ABN 89 765 826

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REV	DESCRIPTION
A	DRAFT DEVELOPMENT APPLICATION
B	DEVELOPMENT APPLICATION
C	ISSUE FOR DA RFI
D	ISSUE FOR DA RFI

DATE	
10/11/2023	
27/11/2023	
02/07/2024	
29/07/2024	

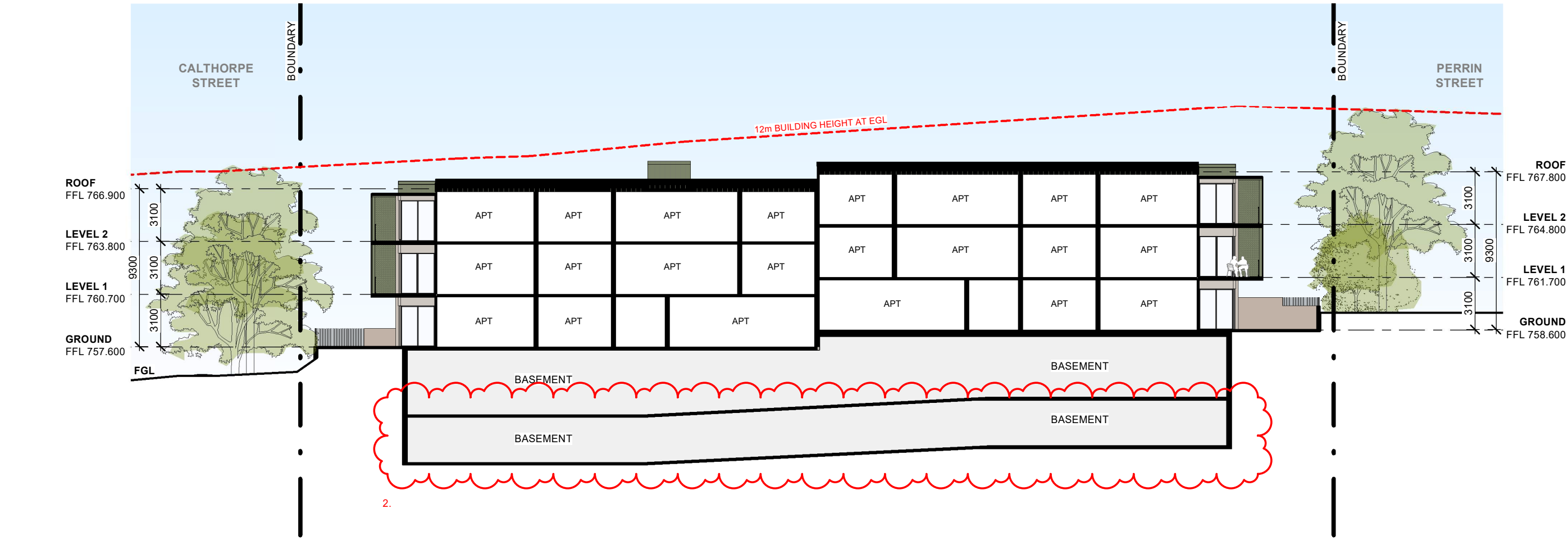
PROJECT NAME  
**GOOGONG**  
PROJECT NUMBER  
**2319**  
LOCATION  
**LOT 642 GOOGONG**

CLIENT  
**BASE DEVELOPMENTS**

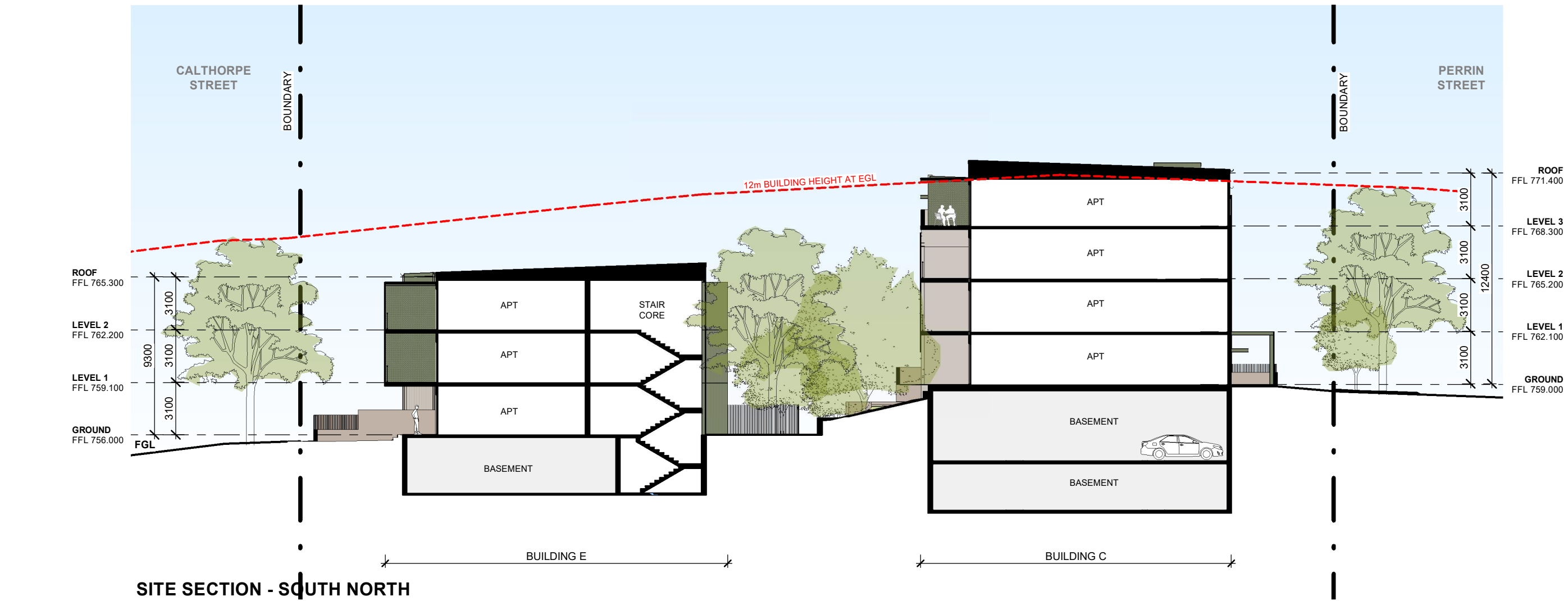
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**SECTIONS - OVERALL**  
SCALE  
**1:250 @ A1**

DRAWING NUMBER  
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REVISION  
**D**

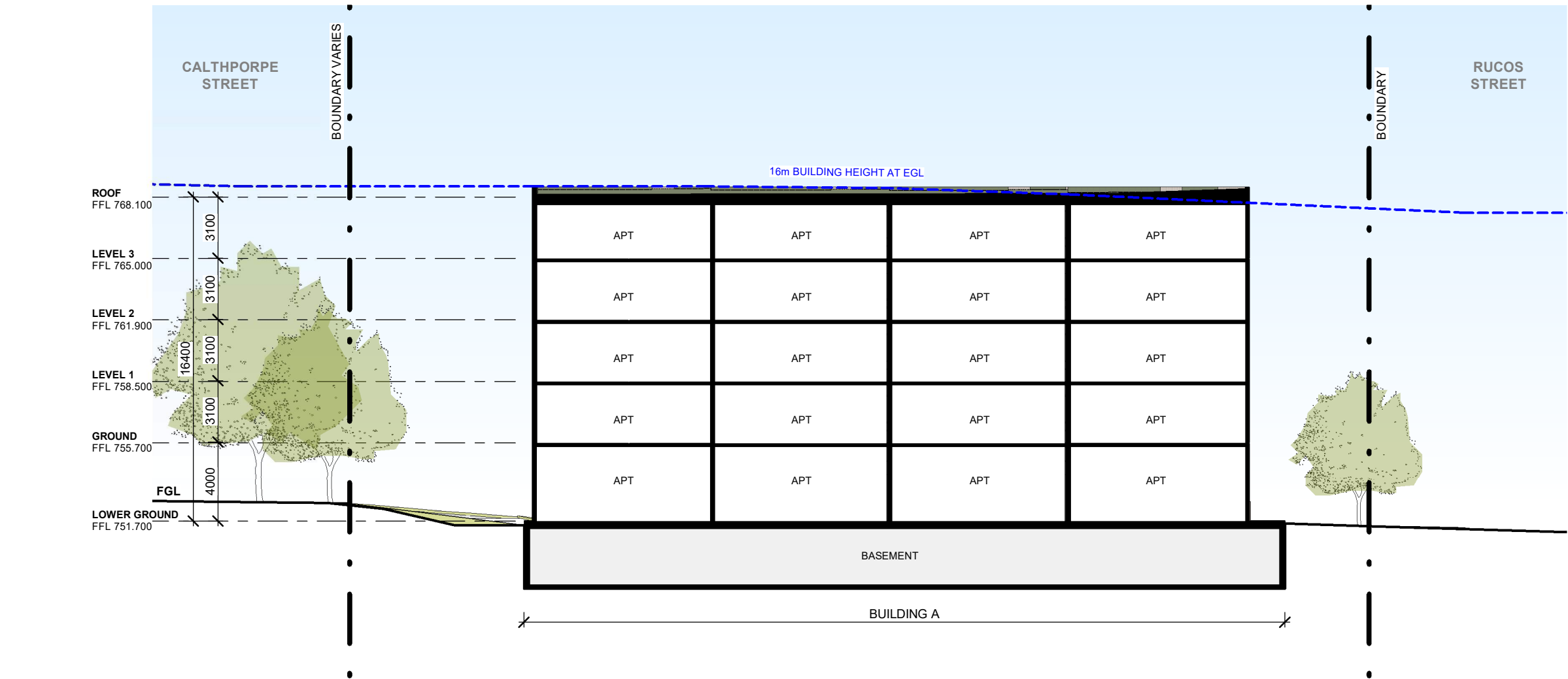




BUILDING D - SOUTH/NORTH



SITE SECTION - SOUTH NORTH



BUILDING A - EAST/WEST

2. BASEMENT 1 EXTENDED FOR ADDITIONAL PARKING.  
BASEMENT PARKING ADJUSTMENTS MADE.

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Canberra Studio: 10/285 Canberra Avenue Fyshwick ACT 2609. P: +61 2 6228 1200  
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REV	DESCRIPTION
A	DRAFT DEVELOPMENT APPLICATION
B	DEVELOPMENT APPLICATION
C	ISSUE FOR DA RFI

DATE
10/11/2023
27/11/2023
29/07/2024

PROJECT NAME  
**GOOGONG**  
PROJECT NUMBER  
**2319**  
LOCATION  
**LOT 642 GOOGONG**

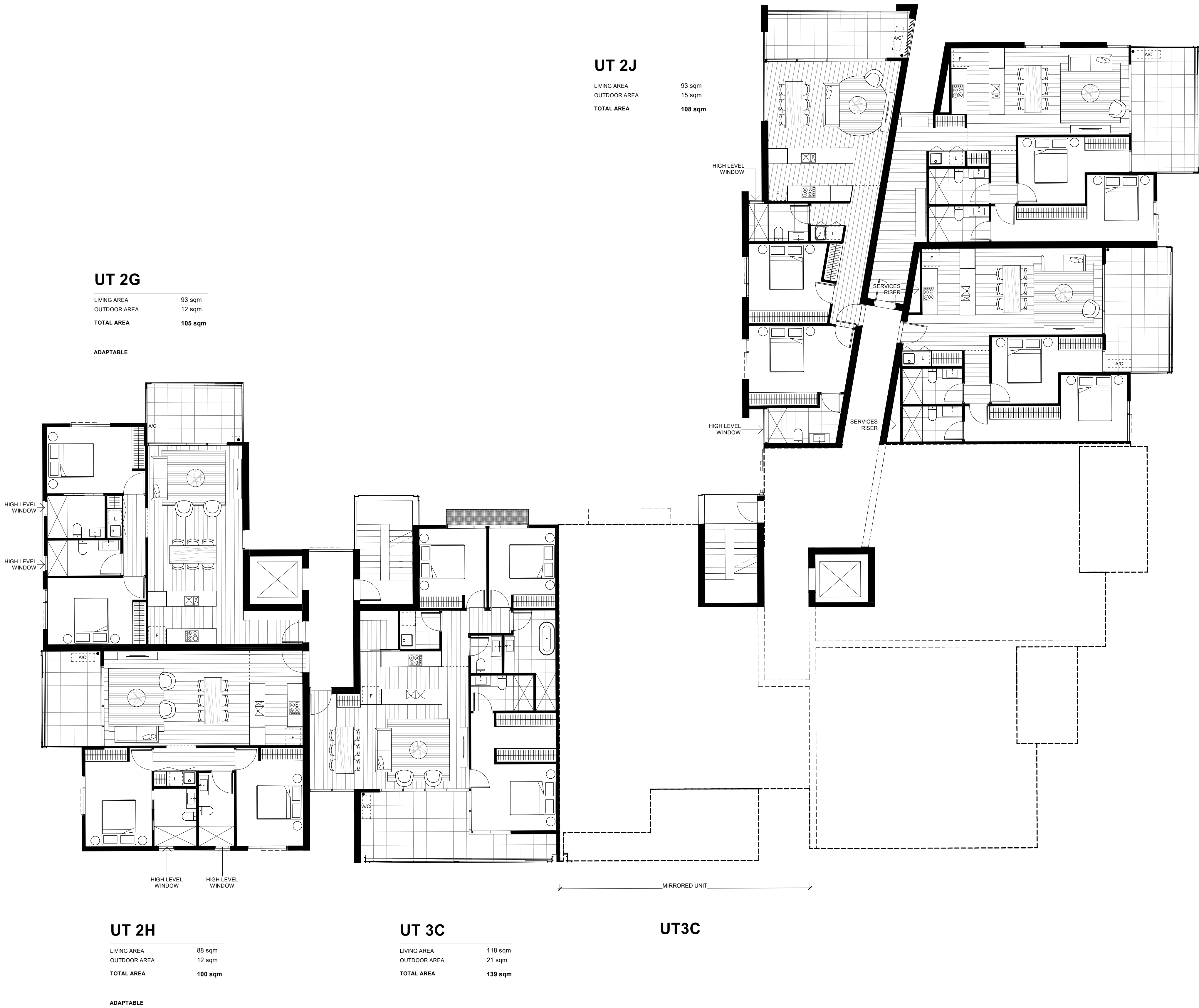
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**BASE DEVELOPMENTS**

DRAWING TITLE  
**SECTIONS - OVERALL**

SCALE  
**1:250 @ A1**

DRAWING NUMBER  
**DA3002**  
REVISION  
**C**





**UT 2J**

LIVING AREA	93 sqm
OUTDOOR AREA	15 sqm
<b>TOTAL AREA</b>	<b>108 sqm</b>

**UT 2E**

LIVING AREA	101 sqm
OUTDOOR AREA	17 sqm
<b>TOTAL AREA</b>	<b>118 sqm</b>

**UT 2I**

LIVING AREA	83 sqm
OUTDOOR AREA	17 sqm
<b>TOTAL AREA</b>	<b>100 sqm</b>

**UT 2G**

LIVING AREA	93 sqm
OUTDOOR AREA	12 sqm
<b>TOTAL AREA</b>	<b>105 sqm</b>

ADAPTABLE

**UT2I**

**UT2H**

ADAPTABLE UNIT SCHEDULE

UNIT	BUILDING	UNIT LEVEL	UNIT	PARKING LEVEL
UT2G	BUILDING A	L1	027	B1
UT2G	BUILDING A	L2	036	B1
UT2G	BUILDING A	L3	045	B1
UT2H	BUILDING A	LG	004	B1
UT2H	BUILDING A	LG	008	B1
UT2H	BUILDING A	G	013	B1
UT2H	BUILDING A	G	017	B1
UT2H	BUILDING A	L1	022	B1
UT2H	BUILDING A	L1	026	B1
UT2H	BUILDING A	L2	031	B1
UT2H	BUILDING A	L2	035	B1
UT2H	BUILDING A	L3	040	B1
UT2H	BUILDING A	L3	044	B1
UT3B	BUILDING B	G	048	B1
UT3S	BUILDING C	L1	076	B1
UT3B	BUILDING C	L1	079	LG
UT3B	BUILDING D	L1	109	B1

TOTAL UNITS ACHIEVED: 17

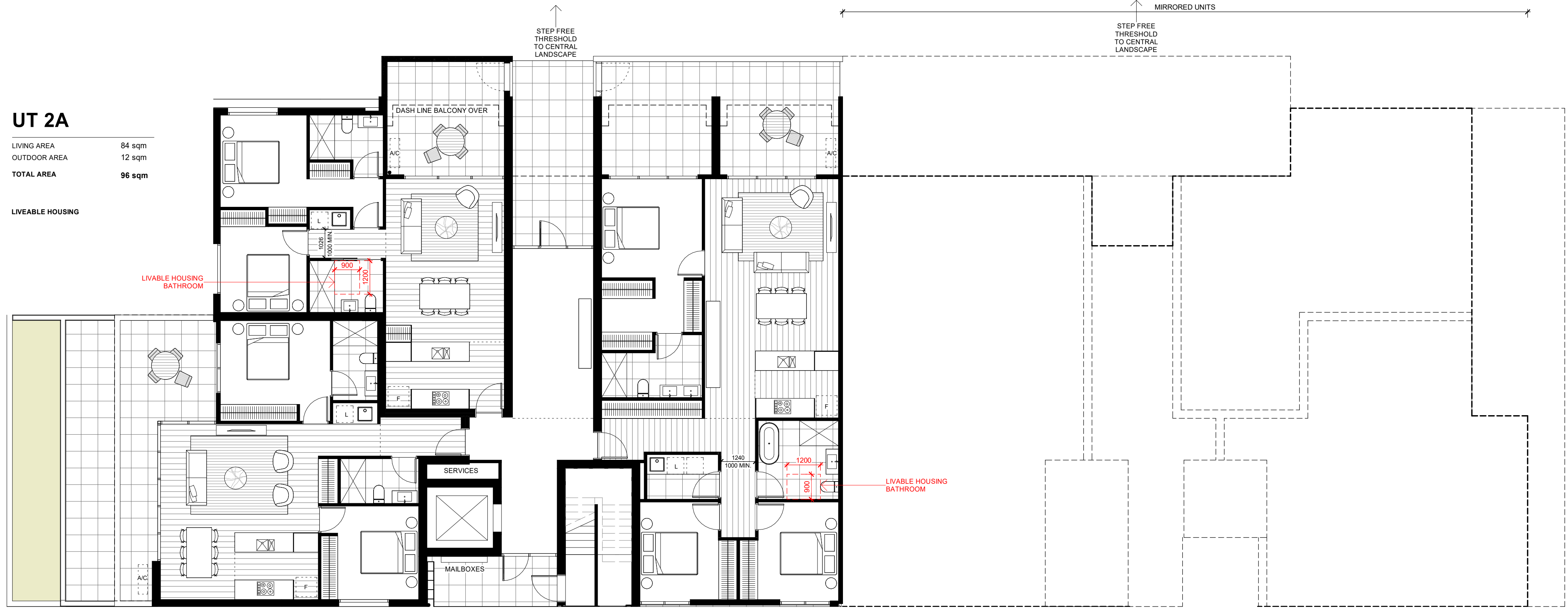
FOR PARKING ALLOCATION REFER DA1001 & DA1002

LIVEABLE HOUSING SILVER SCHEDULE

UNIT	BUILDING	LEVEL	QTY
UT1B	BUILDING E	GROUND	2
	BUILDING F	GROUND	2
UT2A	BUILDING B	G - 3	8
	BUILDING C	G - 3	8
	BUILDING D	G - 1	3
UT2D	BUILDING E	GROUND	2
	BUILDING F	GROUND	2
UT3B	BUILDING B	GROUND	2
	BUILDING C	GROUND	2
	BUILDING D	GROUND	2
TOTAL ACHIEVED			33
TOTAL REQUIRED			33 (20%)

1. ADAPTABLE UNIT UT049 REPLACED WITH UT078





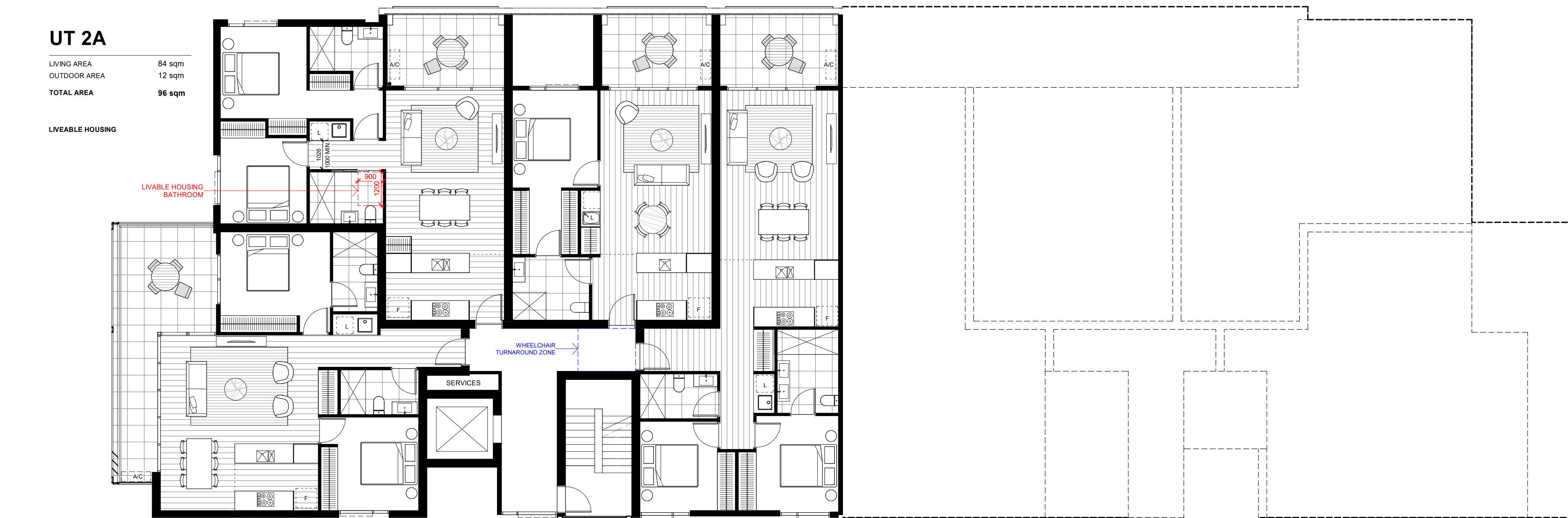
GROUND

UT 2B  
REFER TYPICAL  
LEVEL PLAN

UT 3B  
LIVING AREA 128 sqm  
OUTDOOR AREA 38 sqm  
TOTAL AREA 166 sqm

UT 1A  
LIVING AREA 58 sqm  
OUTDOOR AREA 12 sqm  
TOTAL AREA 70 sqm

LIVEABLE HOUSING  
ADAPTABLE



TYPICAL LEVELS

UT 2B  
LIVING AREA 88 sqm  
OUTDOOR AREA 24 sqm  
TOTAL AREA 112 sqm

UT 2C  
LIVING AREA 90 sqm  
OUTDOOR AREA 12 sqm  
TOTAL AREA 102 sqm

ADAPTABLE UNIT SCHEDULE

UNIT	BUILDING	UNIT LEVEL	UNIT	PARKING LEVEL
UT2G	BUILDING A	L1	027	B1
UT2G	BUILDING A	L2	036	B1
UT2G	BUILDING A	L3	045	B1
UT2H	BUILDING A	LG	004	B1
UT2H	BUILDING A	LG	008	B1
UT2H	BUILDING A	G	013	B1
UT2H	BUILDING A	G	017	B1
UT2H	BUILDING A	L1	022	B1
UT2H	BUILDING A	L1	026	B1
UT2H	BUILDING A	L2	031	B1
UT2H	BUILDING A	L2	035	B1
UT2H	BUILDING A	L3	040	B1
UT2H	BUILDING A	L3	044	B1

1. UT3B	BUILDING B	G	048	B1
UT3B	BUILDING C	L1	078	B1
UT3B	BUILDING C	L1	079	LG
UT3B	BUILDING D	L1	109	B1

TOTAL UNITS ACHIEVED: 17

FOR PARKING ALLOCATION REFER DA1001 & DA1002

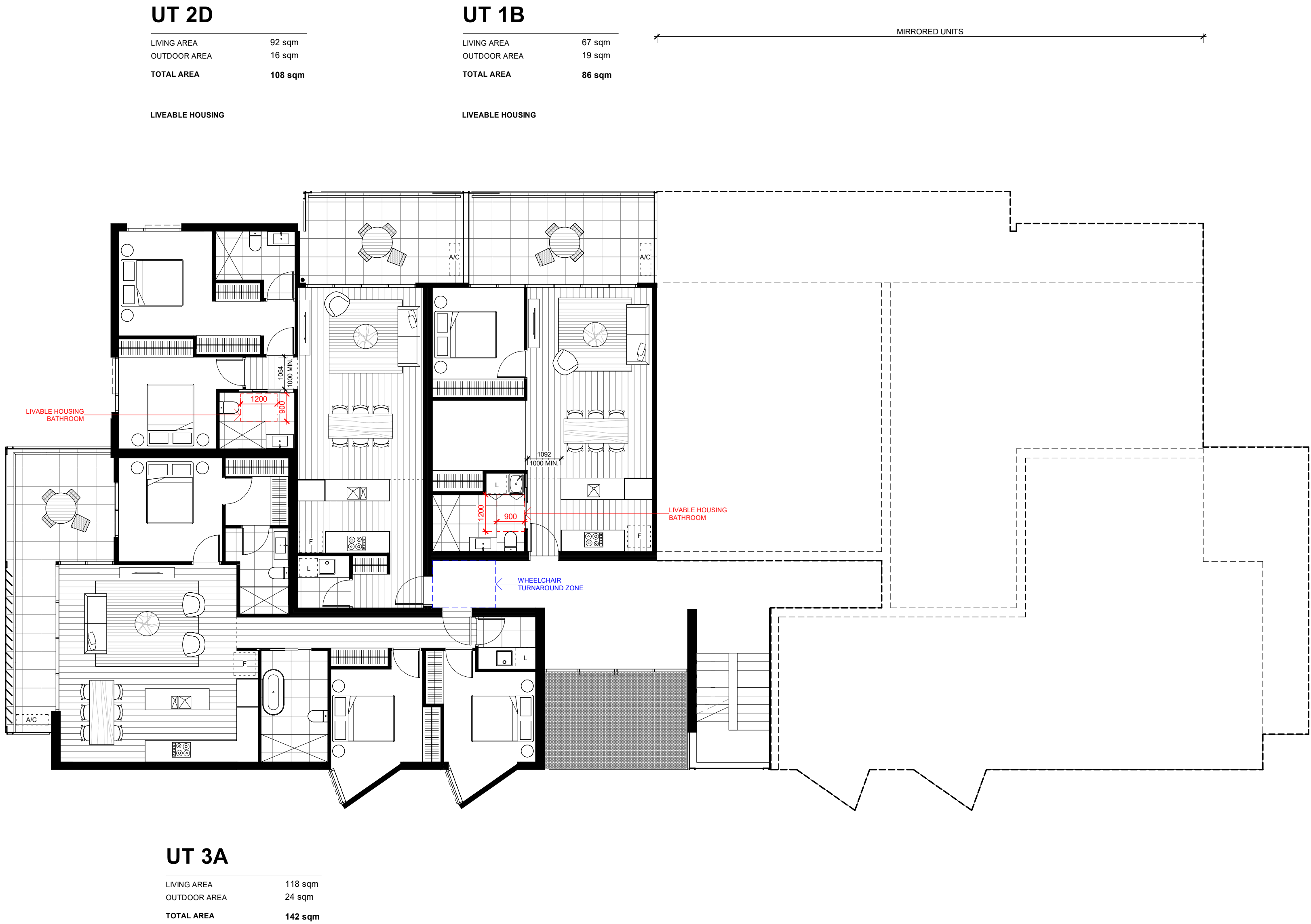
LIVEABLE HOUSING SILVER SCHEDULE

UNIT	BUILDING	LEVEL	QTY
UT1B	BUILDING E	GROUND	2
	BUILDING F	GROUND	2
UT2A	BUILDING B	G - 3	8
	BUILDING C	G - 3	8
	BUILDING D	G - 1	3
UT2D	BUILDING E	GROUND	2
	BUILDING F	GROUND	2
UT3B	BUILDING B	GROUND	2
	BUILDING C	GROUND	2
	BUILDING D	GROUND	2

TOTAL ACHIEVED 33  
TOTAL REQUIRED 33 (20%)



1. ADAPTABLE UNIT UT049 REPLACED WITH UT078



ADAPTABLE UNIT SCHEDULE

UNIT	BUILDING	UNIT LEVEL	UNIT	PARKING LEVEL
UT2G	BUILDING A	L1	027	B1
UT2G	BUILDING A	L2	036	B1
UT2G	BUILDING A	L3	045	B1
UT2H	BUILDING A	LG	004	B1
UT2H	BUILDING A	LG	008	B1
UT2H	BUILDING A	G	013	B1
UT2H	BUILDING A	G	017	B1
UT2H	BUILDING A	L1	022	B1
UT2H	BUILDING A	L1	026	B1
UT2H	BUILDING A	L2	031	B1
UT2H	BUILDING A	L2	035	B1
UT2H	BUILDING A	L3	040	B1
UT2H	BUILDING A	L3	044	B1

1. UT3B	BUILDING B	G	048	B1
UT3B	BUILDING C	L1	078	B1
UT3B	BUILDING C	L1	079	LG
UT3B	BUILDING D	L1	109	B1

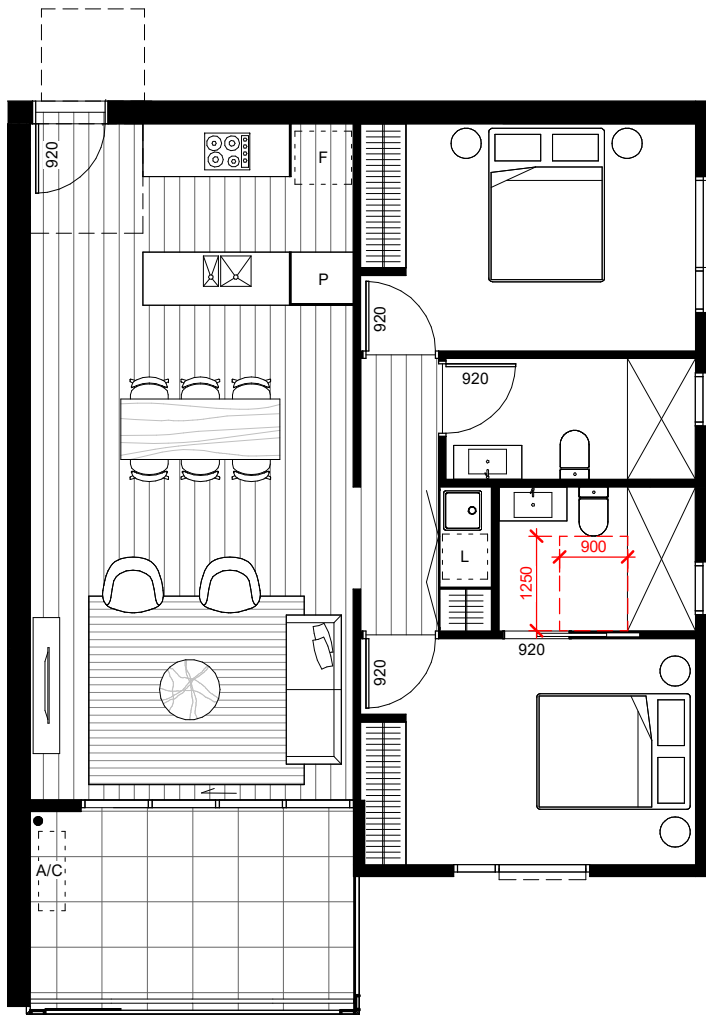
TOTAL UNITS ACHIEVED: 17

FOR PARKING ALLOCATION REFER DA1001 & DA1002

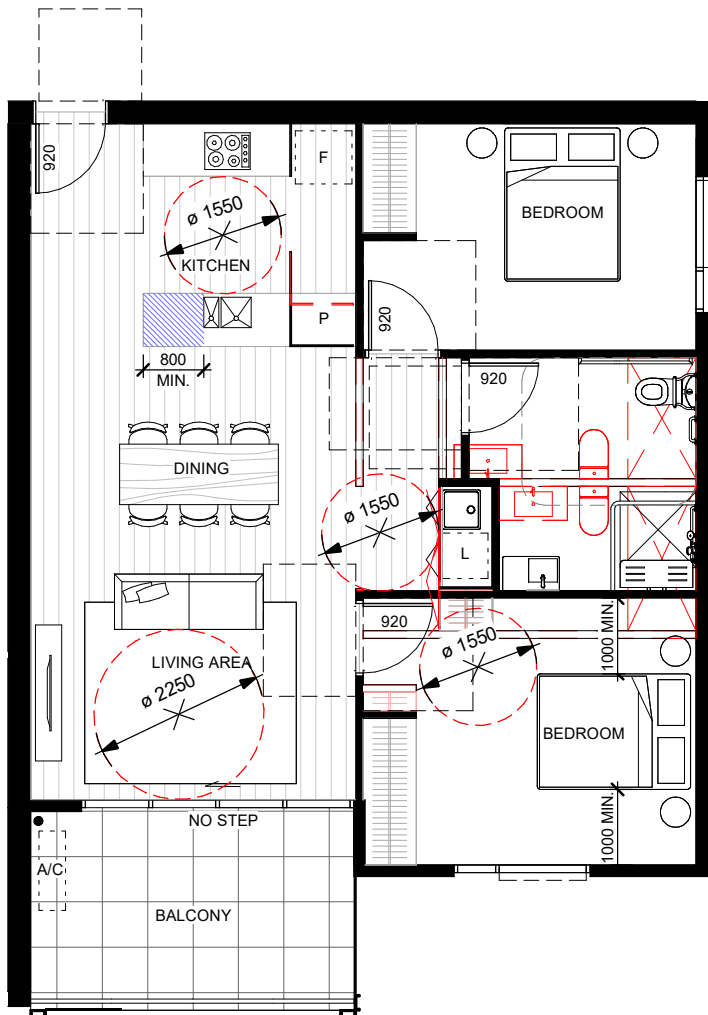
LIVEABLE HOUSING SILVER SCHEDULE

UNIT	BUILDING	LEVEL	QTY
UT1B	BUILDING E	GROUND	2
	BUILDING F	GROUND	2
UT2A	BUILDING B	G-3	8
	BUILDING C	G-3	8
	BUILDING D	G-1	3
UT2D	BUILDING E	GROUND	2
	BUILDING F	GROUND	2
UT3B	BUILDING B	GROUND	2
	BUILDING C	GROUND	2
	BUILDING D	GROUND	2
TOTAL ACHIEVED			33
TOTAL REQUIRED			33 (20%)

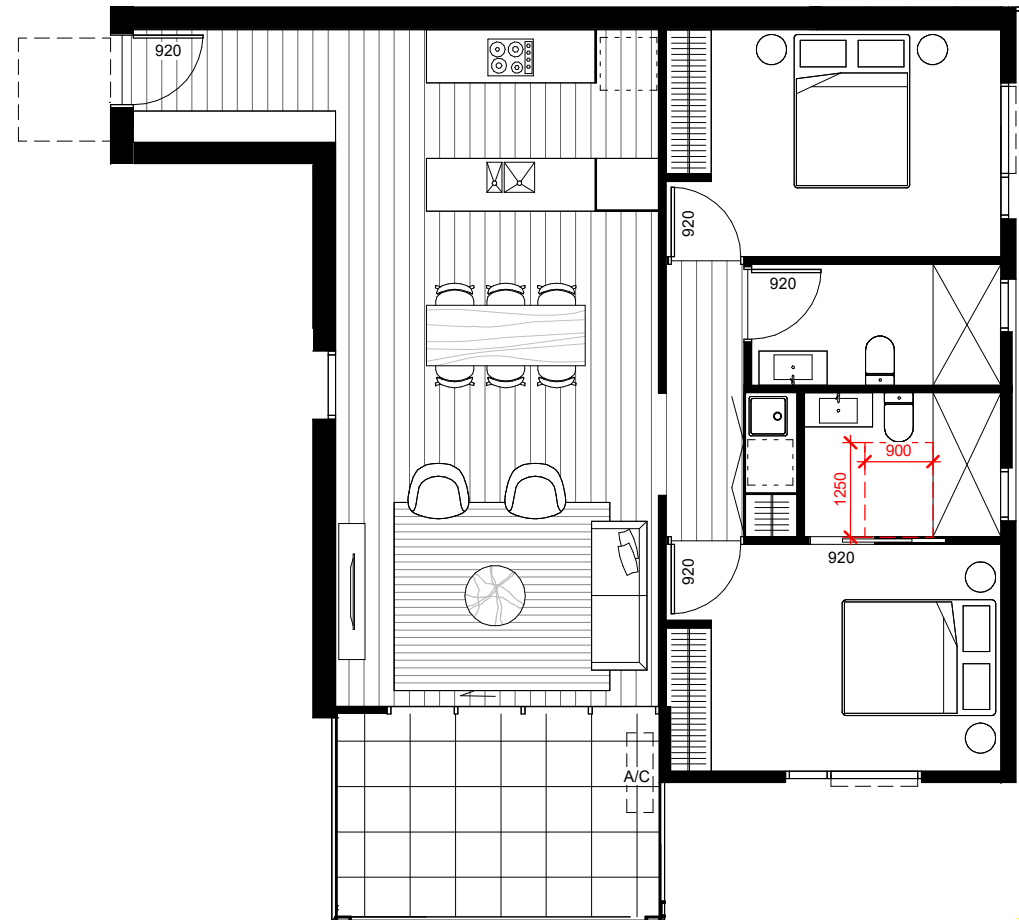




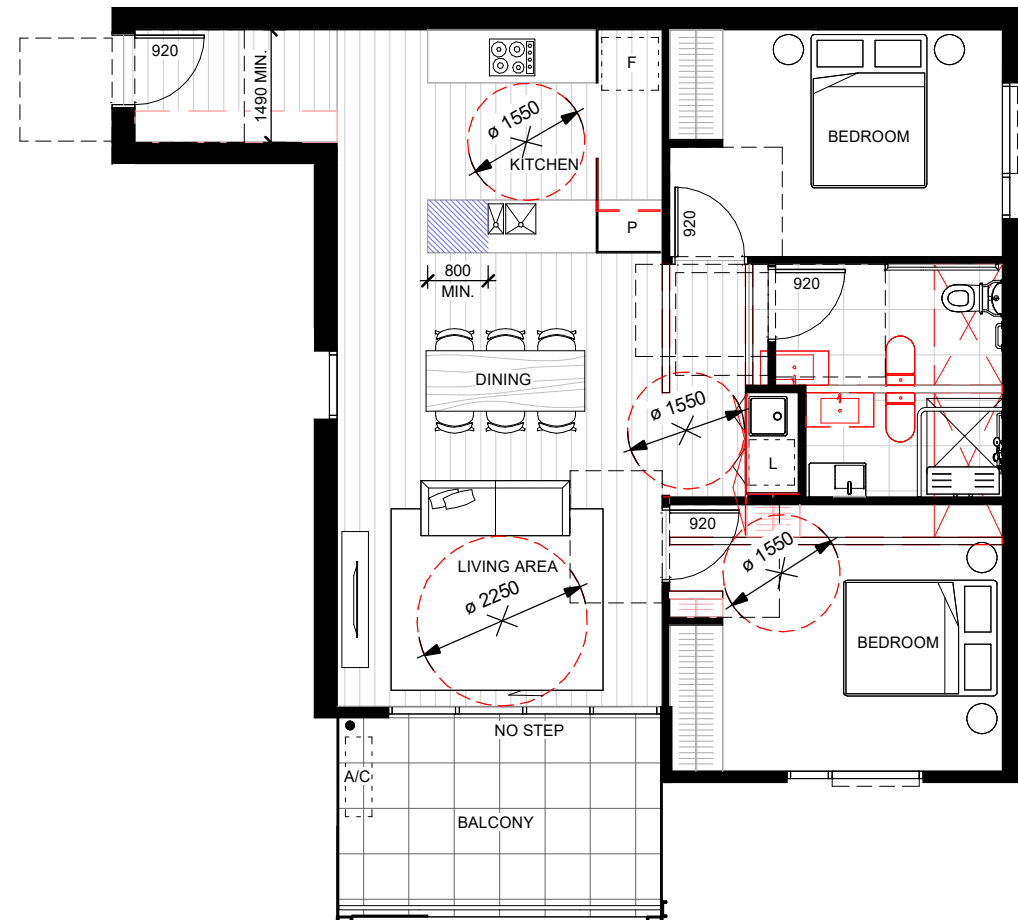
UNIT TYPE 2H - PRE-ADAPTABLE



UNIT TYPE 2H - POST-ADAPTABLE



UNIT TYPE 2G - PRE-ADAPTABLE



UNIT TYPE 2G - POST-ADAPTABLE

ADAPTABLE UNIT SCHEDULE

UNIT	BUILDING	UNIT LEVEL	UNIT	PARKING LEVEL
UT2G	BUILDING A	L1	027	B1
UT2G	BUILDING A	L2	036	B1
UT2G	BUILDING A	L3	045	B1
UT2H	BUILDING A	LG	004	B1
UT2H	BUILDING A	LG	008	B1
UT2H	BUILDING A	G	013	B1
UT2H	BUILDING A	G	017	B1
UT2H	BUILDING A	L1	022	B1
UT2H	BUILDING A	L1	026	B1
UT2H	BUILDING A	L2	031	B1
UT2H	BUILDING A	L2	035	B1
UT2H	BUILDING A	L3	040	B1
UT2H	BUILDING A	L3	044	B1

1	UT3B	BUILDING B	G	048	B1
	UT3B	BUILDING C	L1	078	B1
	UT3B	BUILDING C	L1	079	LG
	UT3B	BUILDING D	L1	109	B1

TOTAL UNITS ACHIEVED: 17

FOR PARKING ALLOCATION REFER DA1001 & DA1002

ADAPTABLE NOTES

- GENERALLY
- SWITCHES LOCATED AT 900 - 1100 ABOVE FLOOR AND IN LINE WITH DOOR HANDLES
  - GPO ADJACENT TO TELEPHONE
  - GPO'S LOCATED NO LOWER THAN 300mm ABOVE FLOOR UNLESS NOTED OTHERWISE
  - ENTRY DOOR HANDLES & HARDWARE TO AS1428.2
  - DOOR HARDWARE TO BE OPERABLE WITH ONE HAND AND LOCATED 900-1100 ABOVE FFL
  - ALL DOORS TO HAVE 850mm MIN CLEARANCE
  - CORRIDORS MIN WIDTH OF 1200mm (UNLESS NOTED OTHERWISE)
  - COMPLIANCE WITH AS1428.1 FOR DOOR APPROACHES

- BATHROOMS
- BATHROOM WATERPROOFED TO AS3740
  - FALL TO WASTE TO MEET AS1428.1
  - PROVIDE RECESSED SOAP HOLDER
  - POSITION SHOWER MIXER AS PER AS1428.1
  - POSITION SHOWER MIXER BETWEEN 900 AND 1100mm ABOVE THE FINISHED FLOOR LEVEL
  - SHOWER RAIL TO BE 580-600mm FROM CORNER OF SHOWER, WITH OUTLET LOCATED BELOW THE RAIL AT 700mm ABOVE THE FINISHED FLOOR LEVEL
  - PROVIDE REINFORCED AREAS TO WALLS FOR INSTALLATION OF GRAB RAILS TO SHOWER AND WC TO AS1428.1
  - LEVER MIXER TO BASIN
  - SLIP RESISTANT FLOOR TO AS/NZS3661.1
  - PROVIDE ONE DOUBLE GPO LOCATED BESIDE MIRROR TO AS1428.1
  - SHOWER WASTE MIN DIAMETER 80mm
  - BASIN, W.C. GRAB RAILS & FOLDING SHOWER SEAT TO COMPLY WITH AS1428.1
  - PROVIDE SHOWER CURTAIN AND RAIL

- LAUNDRY
- PROVIDE DOUBLE GPO
  - SLIP RESISTANT FLOOR TO AS/NZS 3661.1
  - INSTALLATION OF THERMOSTATIC MIXING VALVES
  - PROVIDE 1550mm CLEAR IN FRONT OF WASHING MACHINE
  - TUB MIXER TO FRONT OF TUB

- KITCHEN
- 1 DOUBLE GPO WITHIN 300mm OF FRONT OF WORK SURFACE
  - SLIP RESISTANT FLOOR TO AS/NZS3661.1
  - RAISED GROSS BAR TO CONTROLS
  - ISOLATING SWITCH TO COOKTOP
  - REFRIGERATOR ADJACENT WORK SURFACE
  - GPO FOR REFRIGERATOR TO BE EASILY WITHIN REACH
  - INSTALLATION OF THERMOSTATIC MIXING VALVES
  - LOCATE HANDLES TOWARDS THE TOP OF UNDER-BENCH CUPBOARDS AND TO THE BOTTOM OF OVER-BENCH CUPBOARDS
  - PROVIDE SPACE FOR MICROWAVE IN OVER-BENCH CUPBOARD

- LIVING
- POTENTIAL ILLUMINATION TO BE MIN 300LUX
  - PROVISION FOR CIRCULATION SPACE OF MIN 2250mm DIAMETER
  - MIN 4 DOUBLE GPOS

- BEDROOM
- MIN 1000mm UNOBSTRUCTED SPACE ALONG 1 SIDE OF BED
  - PROVISION FOR CIRCULATION SPACE OF MIN 1540mm X 2070 IN DIRECTION OF TRAVEL
  - MIN 2 DOUBLE GPOS

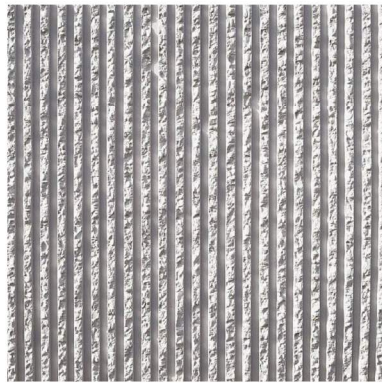
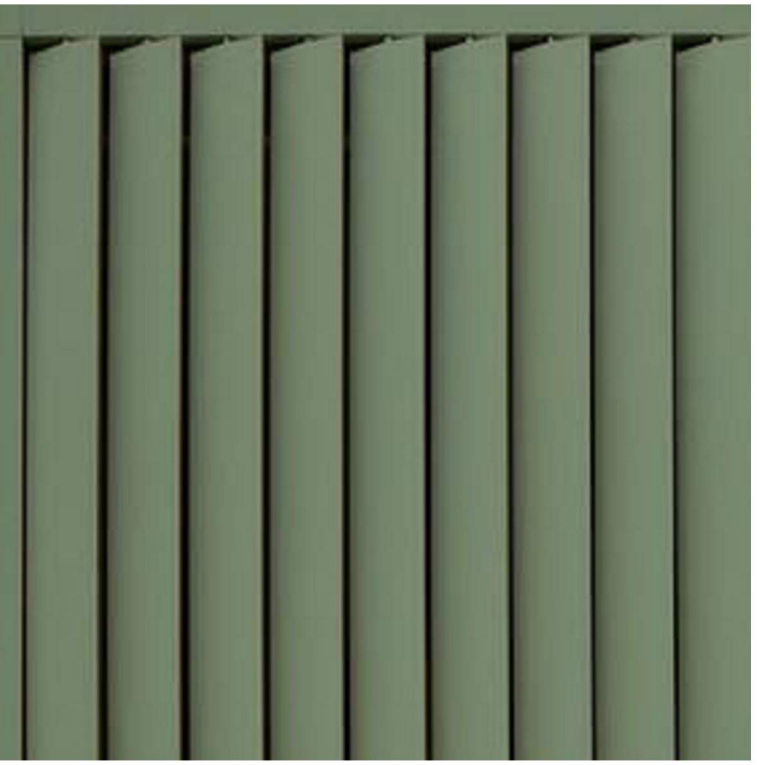
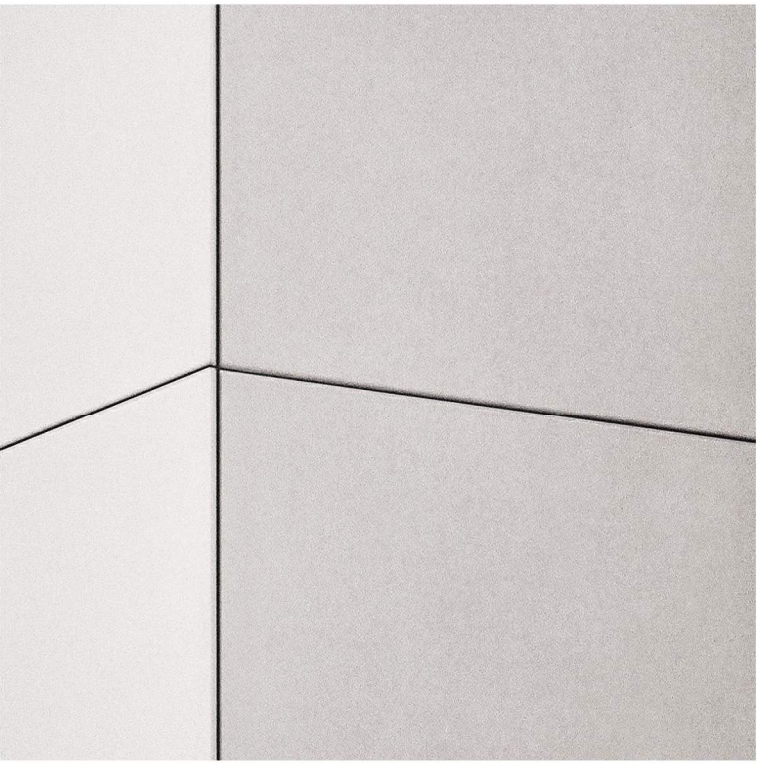
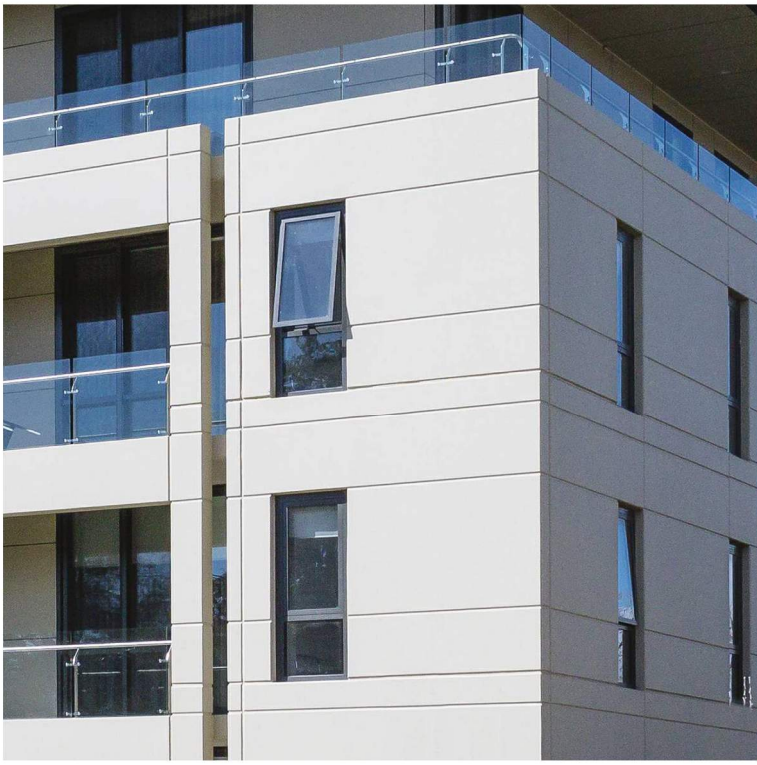
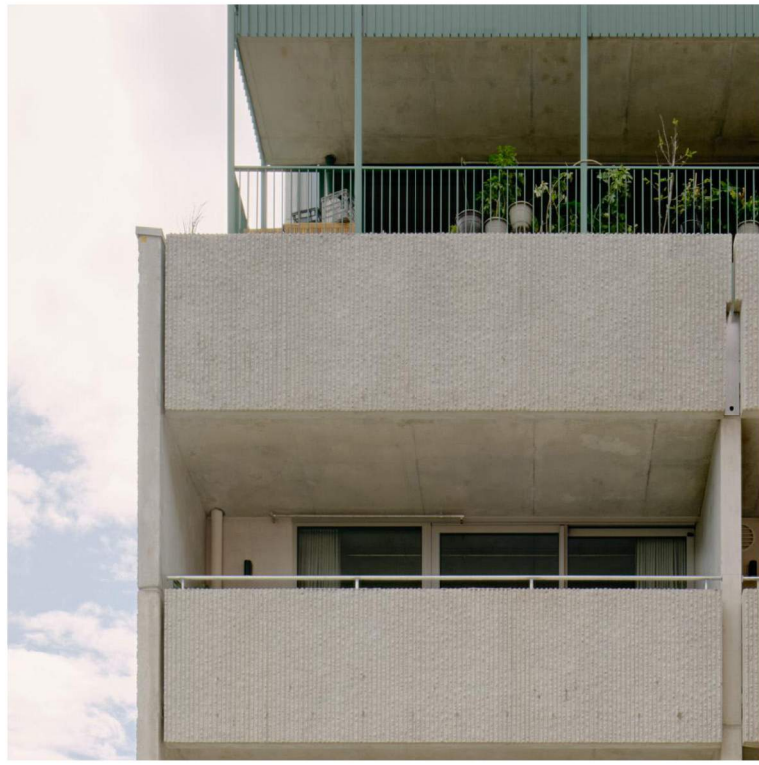
- EXTERIOR
- SLIP RESISTANT FLOOR TO AS/NZS3661.1
  - MAX 5mm STEP BETWEEN EXTERNAL FLOORING AND INTERNAL FLOORING AND TO FULL WIDTH OF DOOR OPENING

NOTE: ADAPTABLE UNIT TO MEET AS4299-2009 ON COMPLETION ALL DIMENSION TO STUD WALL

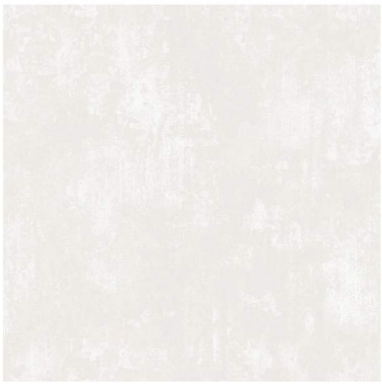
ADAPTABLE LEGEND

- OFFLOAD ZONE
- PROVISIONAL PLUMBING POINT
- WALLS/JOINERY DEMOLISHED
- CIRCULATION SPACE

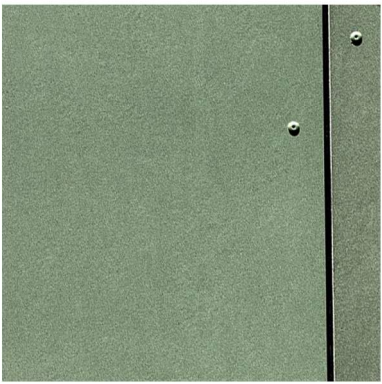




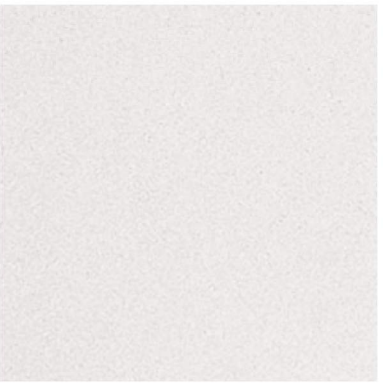
PC1  
WALL  
CONCRETE  
OFF WHITE  
TEXTURED FINISH



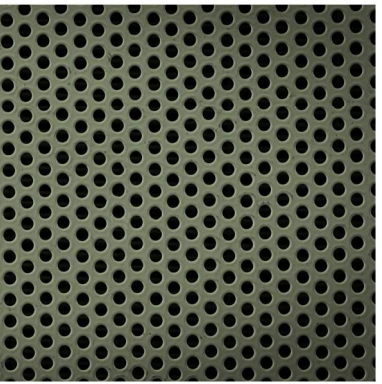
PC2  
WALL  
CONCRETE  
OFF WHITE  
SMOOTH FINISH



FC1  
WALL  
FIBRE CEMENT  
GREEN  
SMOOTH FINISH



FC2  
WALL  
FIBRE CEMENT  
OFF WHITE  
SMOOTH FINISH



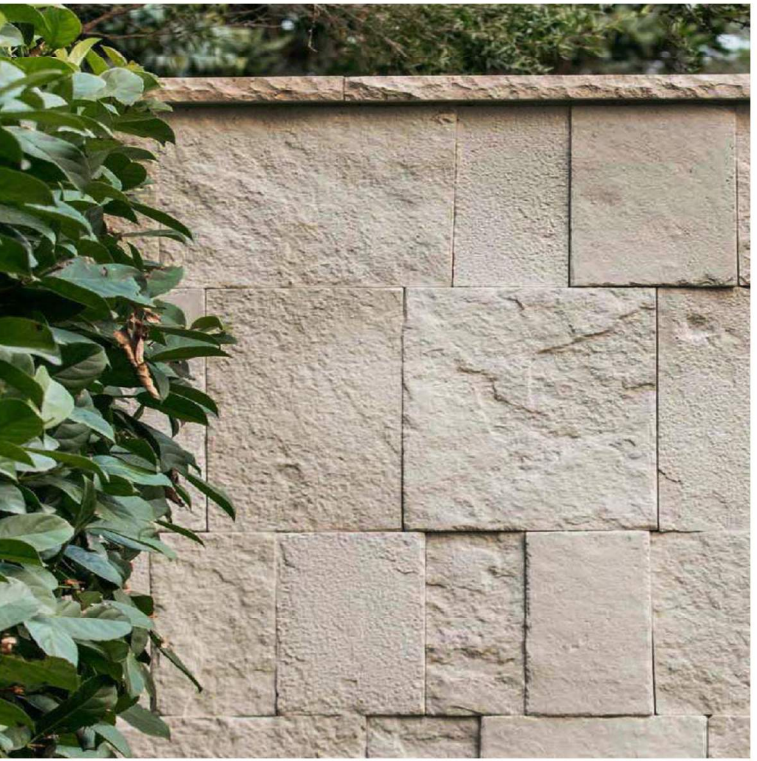
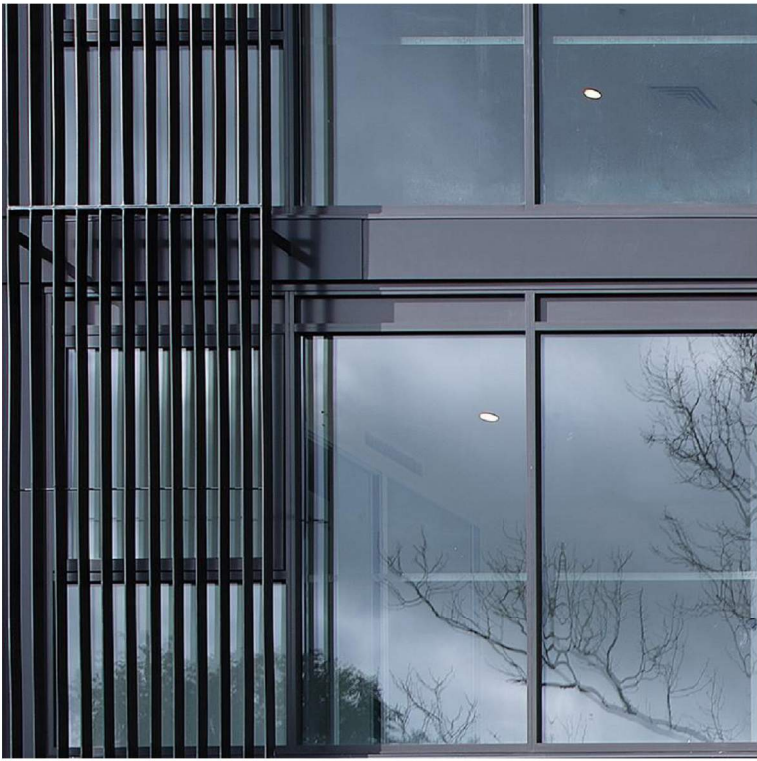
SC1  
SCREEN  
METAL  
GREEN  
PERFORATED



SC2  
SCREEN  
METAL  
GREEN  
ALUMINIUM LOUVRES



FC3  
WALL  
FIBRE CEMENT  
GREEN  
SMOOTH FINISH



MR1  
METAL ROOF  
ROOF & WALL SHEETING  
GREEN



ST1  
STEELWORK  
METAL  
GREEN / BLACK



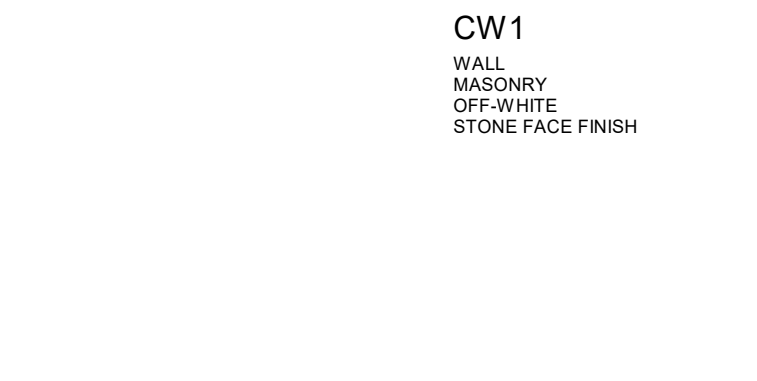
WF1  
WINDOW FRAME  
ALUMINIUM  
DARK GREY



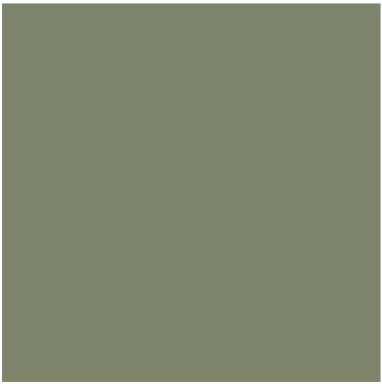
FE1 / GA1  
FENCE / GATE  
ALUMINIUM PALISADE  
DARK GREY



BA1  
BAULSTRADE  
GLASS  
CLEAR

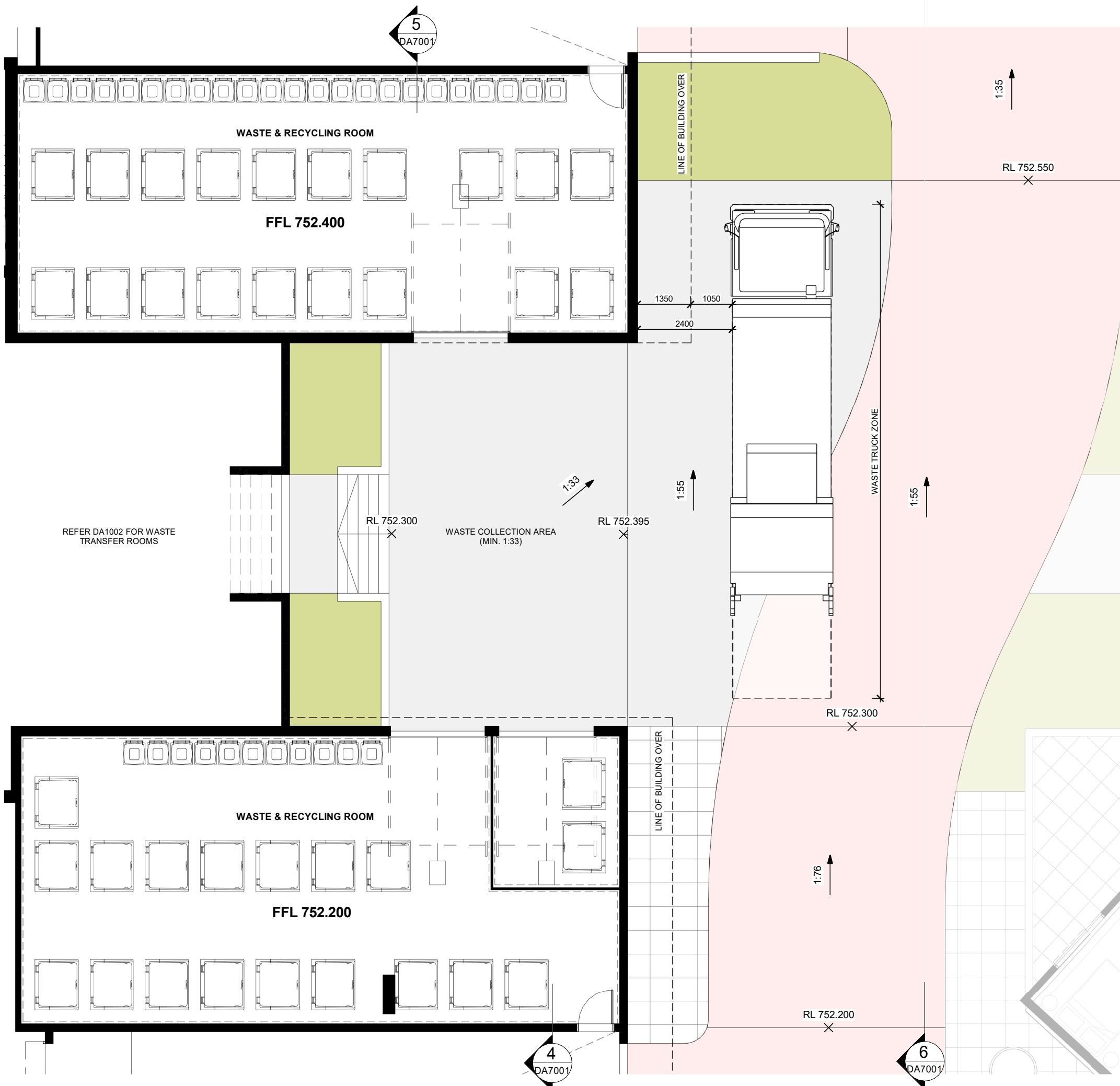


CW1  
WALL  
MASONRY  
OFF-WHITE  
STONE FACE FINISH



SP1  
SPANDREL PANEL  
METAL  
GREEN

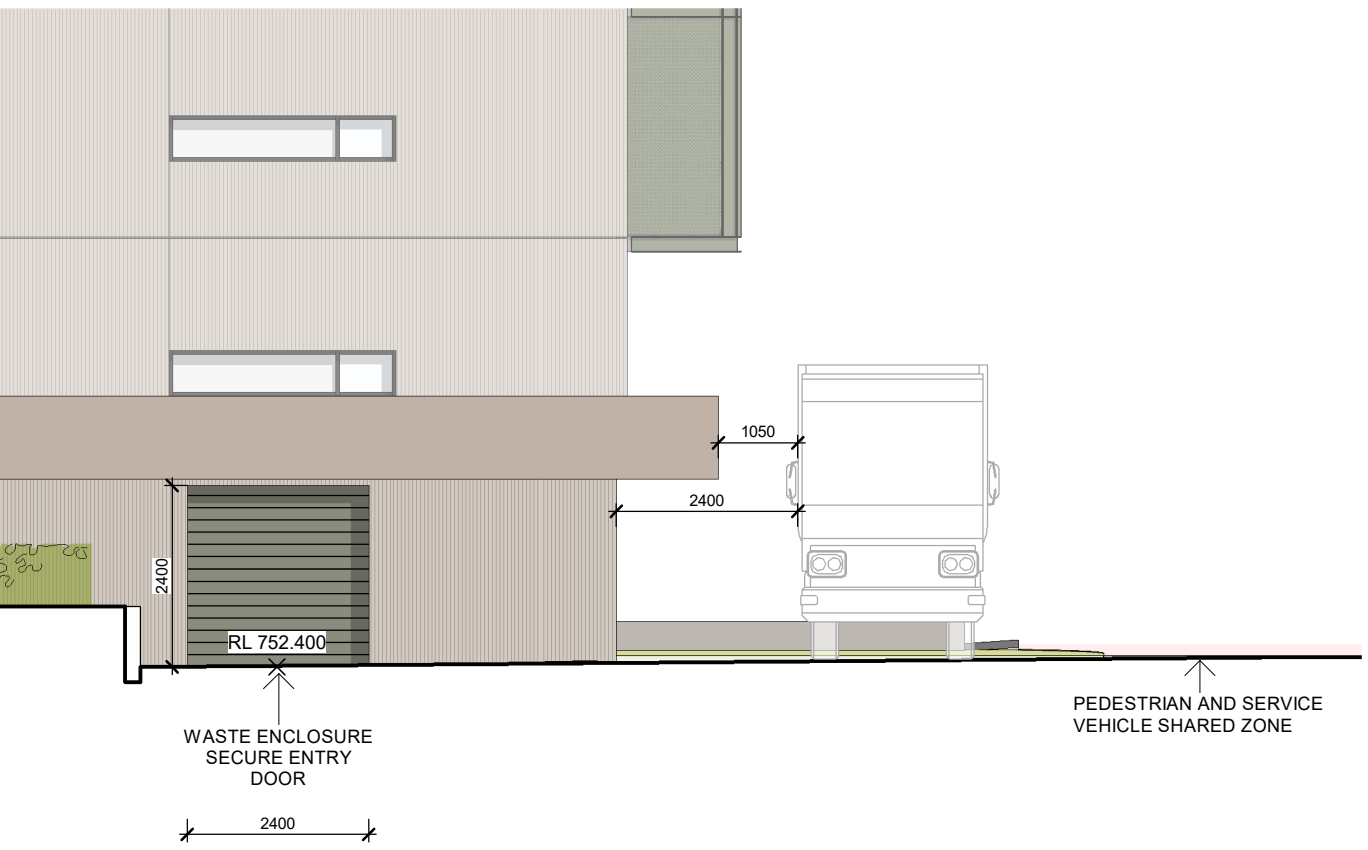




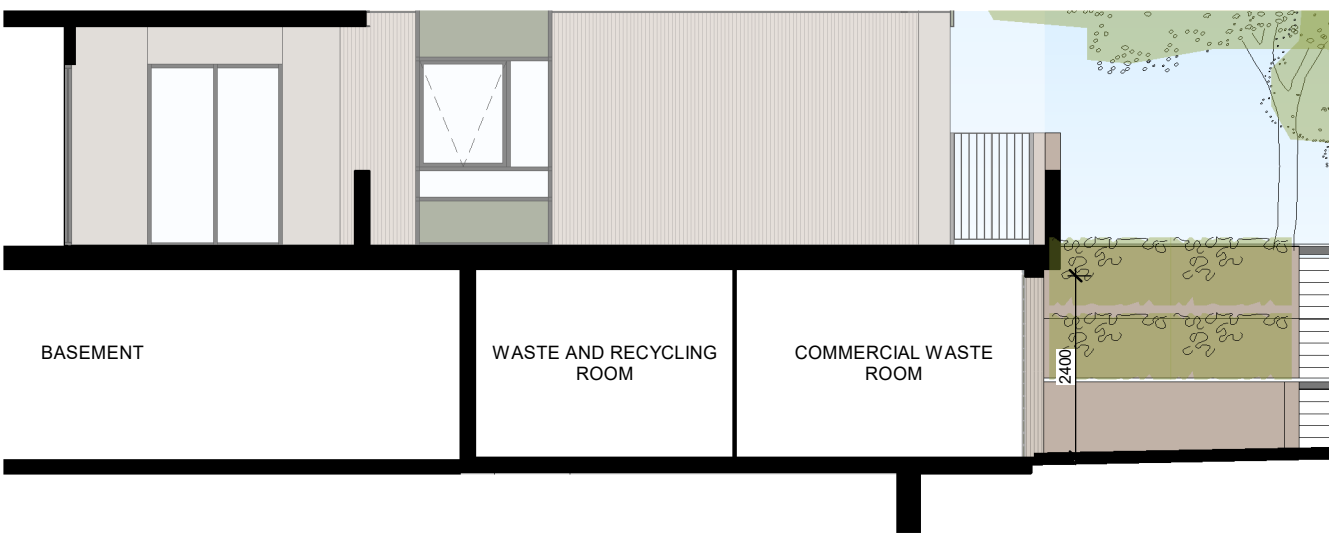
WASTE ENCLOSURE PLAN



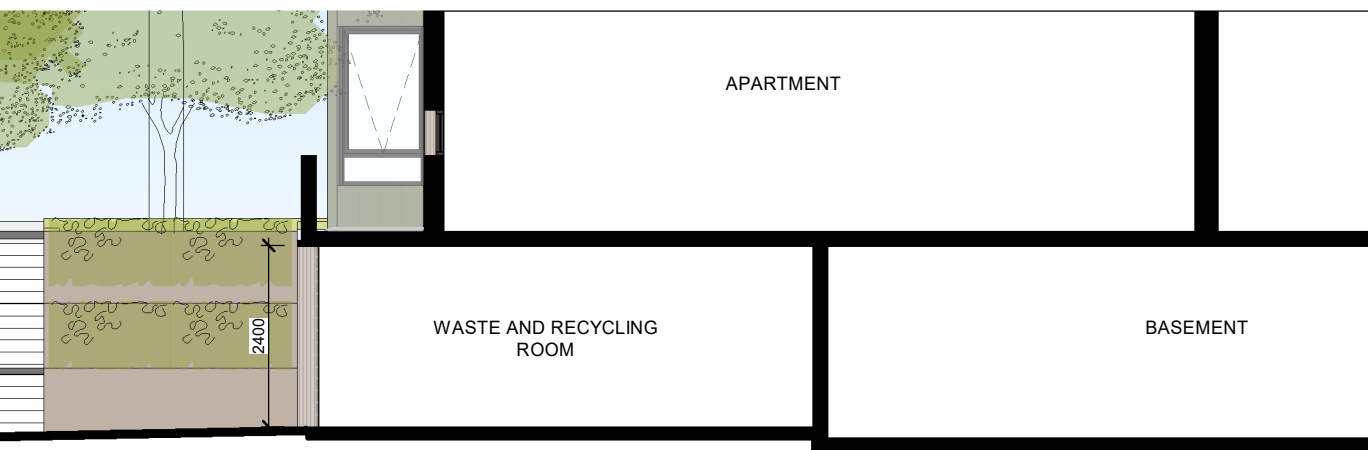
WASTE ENCLOSURE ELEVATION EAST



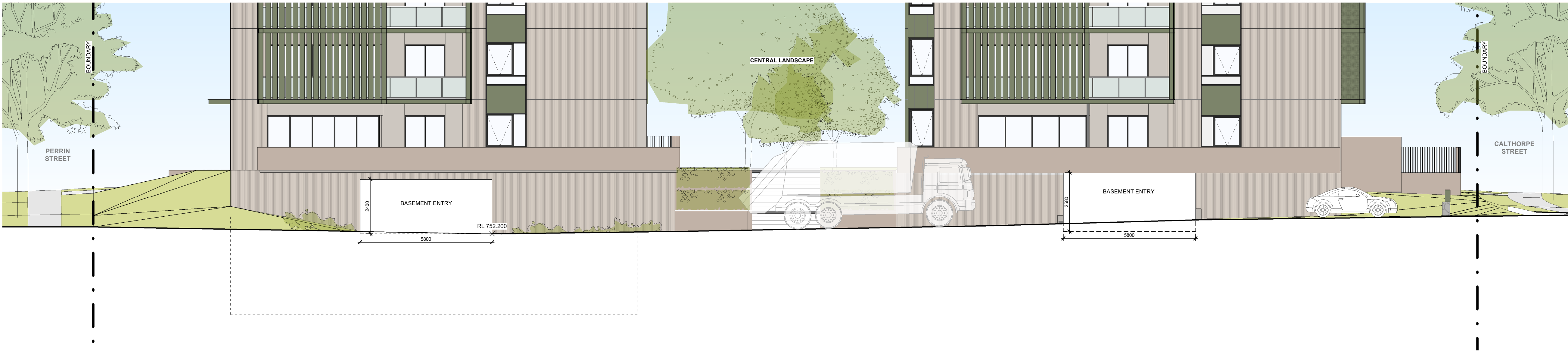
WASTE ENCLOSURE ELEVATION NORTH



WASTE ENCLOSURE SECTION 1

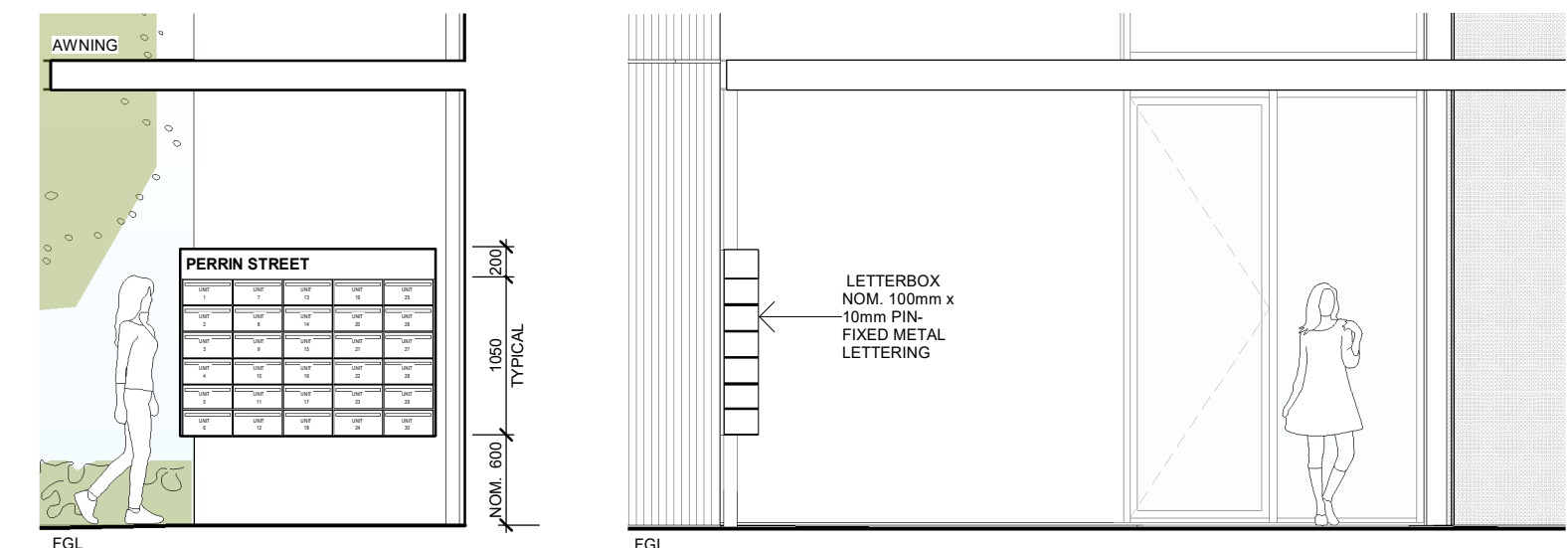


WASTE ENCLOSURE SECTION 2



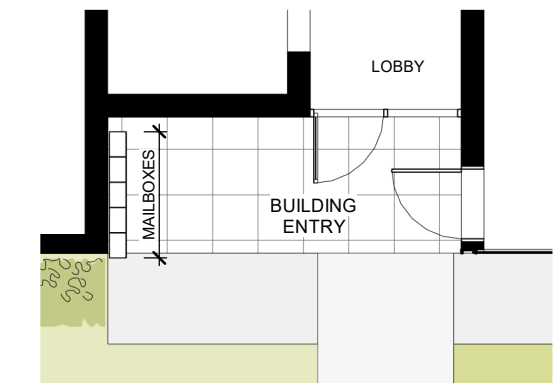
WASTE ENCLOSURE ELEVATION WEST



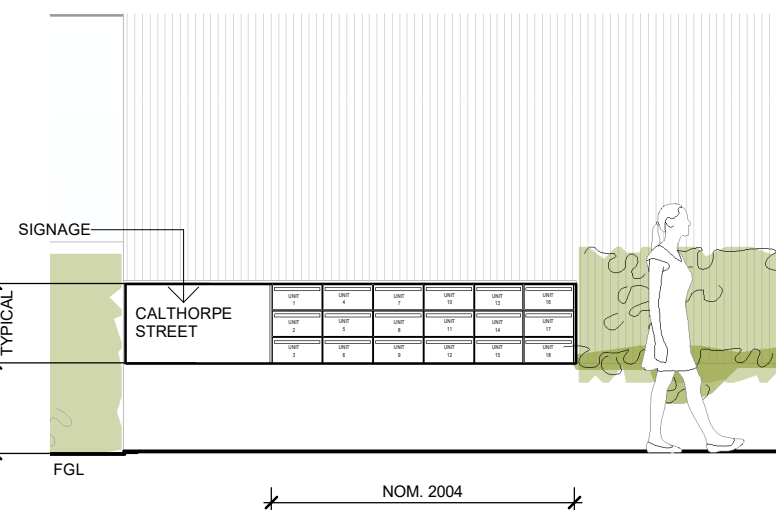


**MAILBOX - ELEVATION 1**  
TYPICAL MAILBOX FOR BUILDINGS A, B, C & D

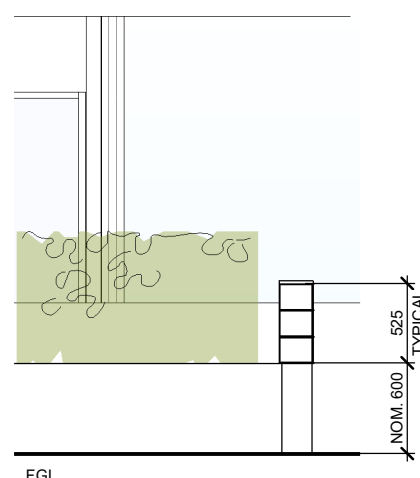
**MAILBOX - SECTION 1**  
TYPICAL MAILBOX FOR BUILDINGS A, B, C & D



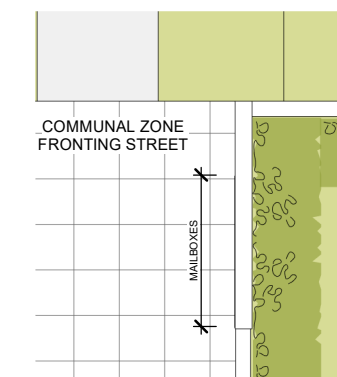
**MAILBOX - PLAN 1**  
TYPICAL MAILBOX FOR BUILDINGS A, B, C & D



**MAILBOX - ELEVATION 2**  
TYPICAL MAILBOX FOR BUILDINGS E & F



**MAILBOX - SECTION 2**  
TYPICAL MAILBOX FOR BUILDINGS E & F



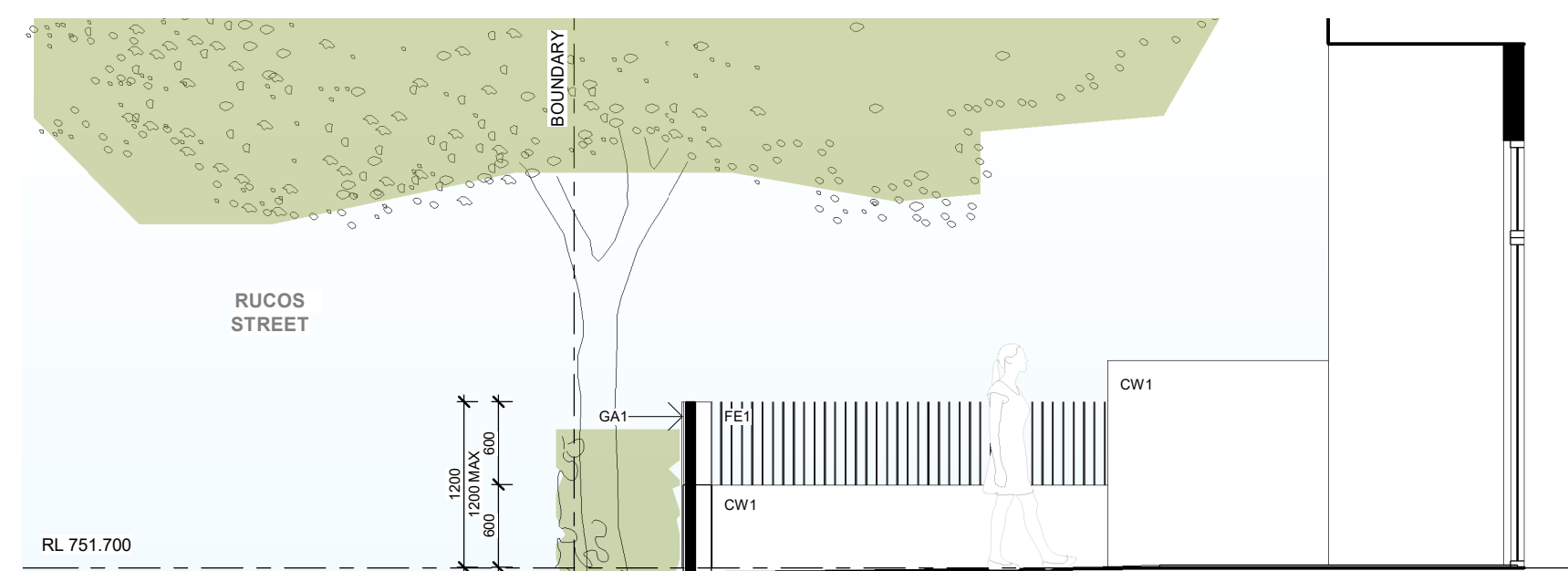
**MAILBOX - PLAN 2**  
TYPICAL MAILBOX FOR BUILDINGS E & F

#### COURTYARD WALL AND FENCING NOTES

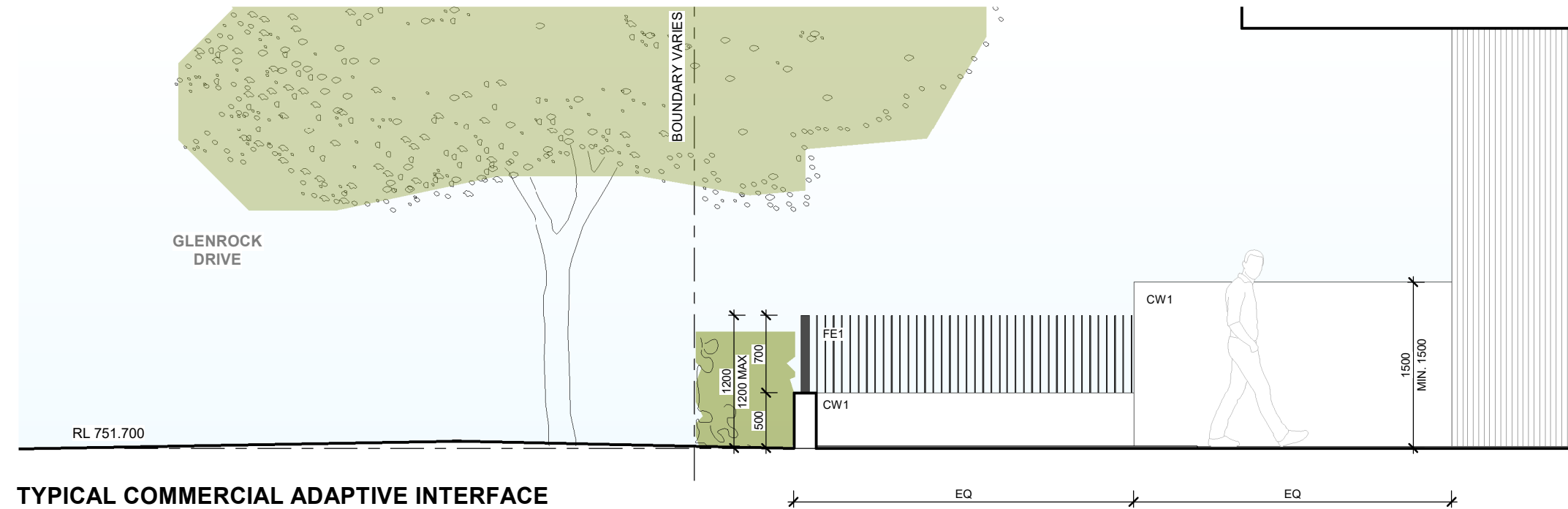
CW1	COURTYARD WALL	SANDSTONE FACE FINISH
FE1	FENCE	METAL PALISADE: DARK GREY
GA1	GATE	METAL PALISADE: DARK GREY
SC1	SCREEN	PERFORATED METAL: BLACK
FENCING TYPE 1	PPOS	50% FRONT SETBACK HEIGHT AT 1-1.2m / 50% at HEIGHT 1.5m
FENCING TYPE 2	SECONDARY OPEN SPACE	MAX 1.2m HEIGHT FROM INTERNAL LEVEL
FENCING TYPE 3	PPOS	ALTERNATE FENCING REQUIRED FRONTING SHARED DRIVEWAY

REFER TO DA0115 MASTER PLAN FOR FENCING LOCATION TO GROUND FLOOR UNITS

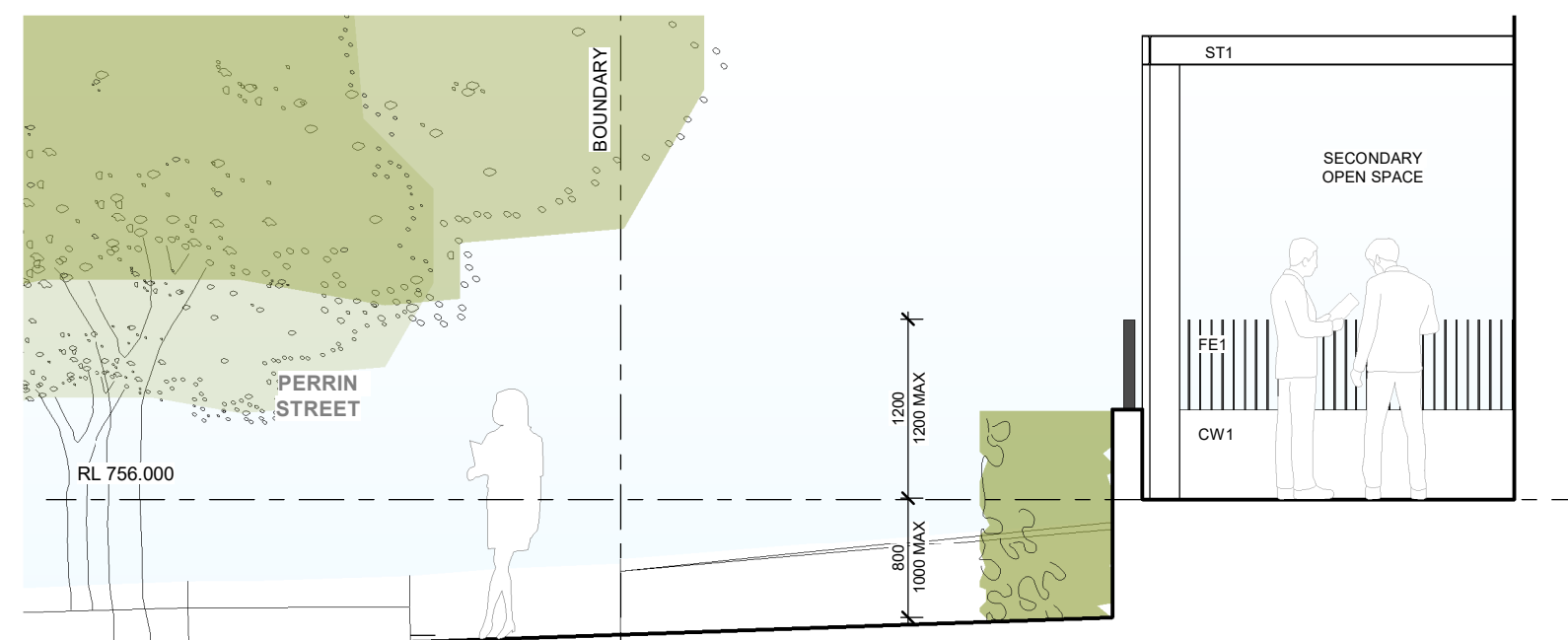
REFER TO DA5001 MATERIALS & FINISHES FOR FE1 AND GA1 SPECIFICATIONS



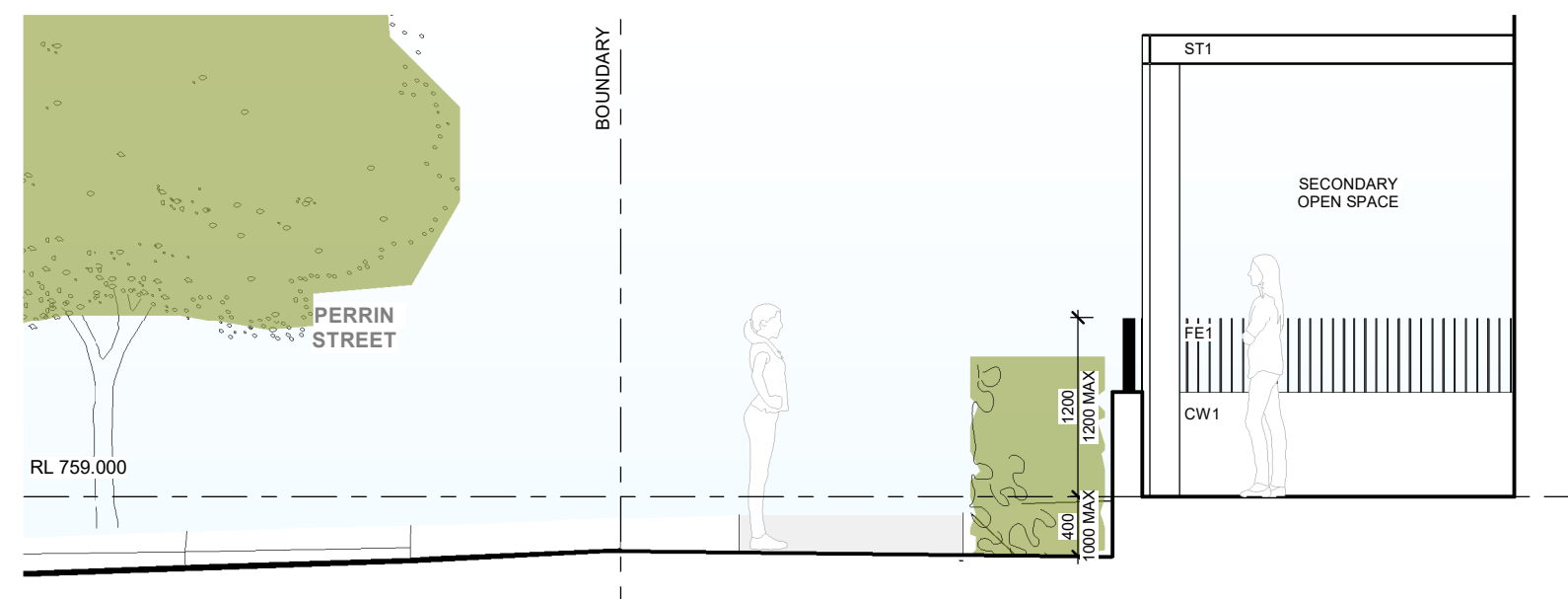
**TYPICAL RESIDENTIAL INTERFACE (BUILDING A) - FENCING TYPE 1**



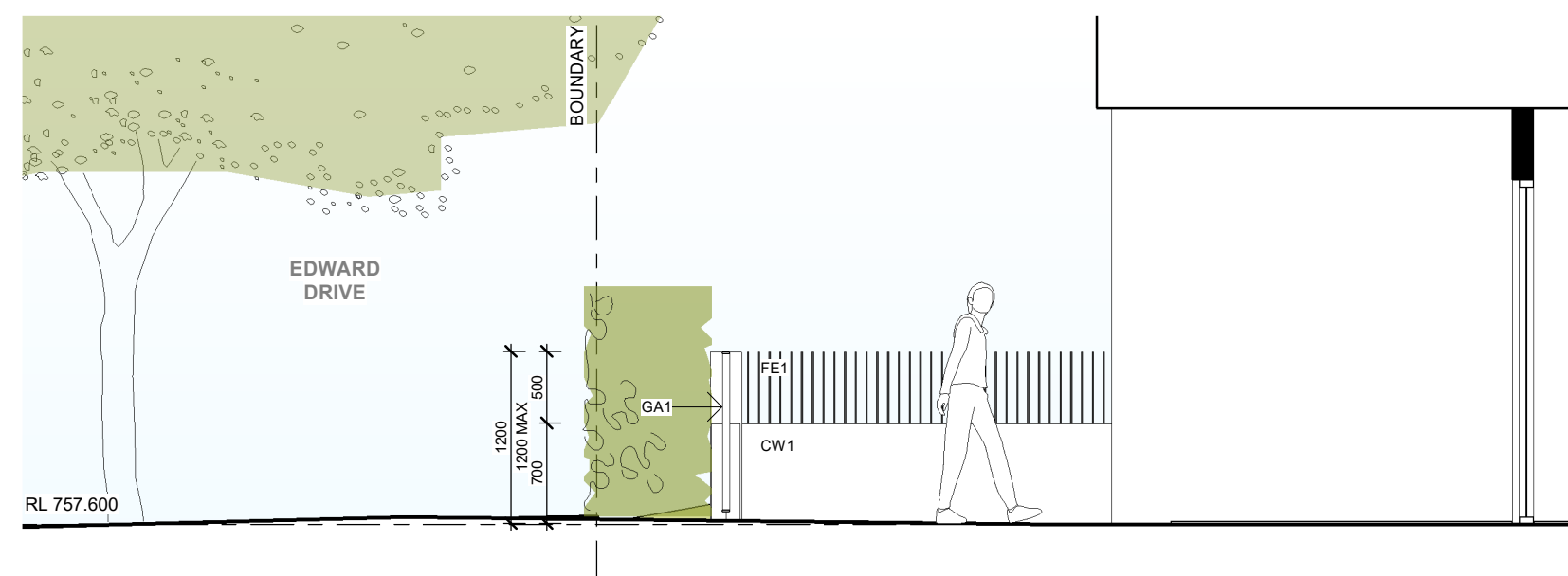
**TYPICAL COMMERCIAL ADAPTIVE INTERFACE (BUILDING A) - FENCING TYPE 1**



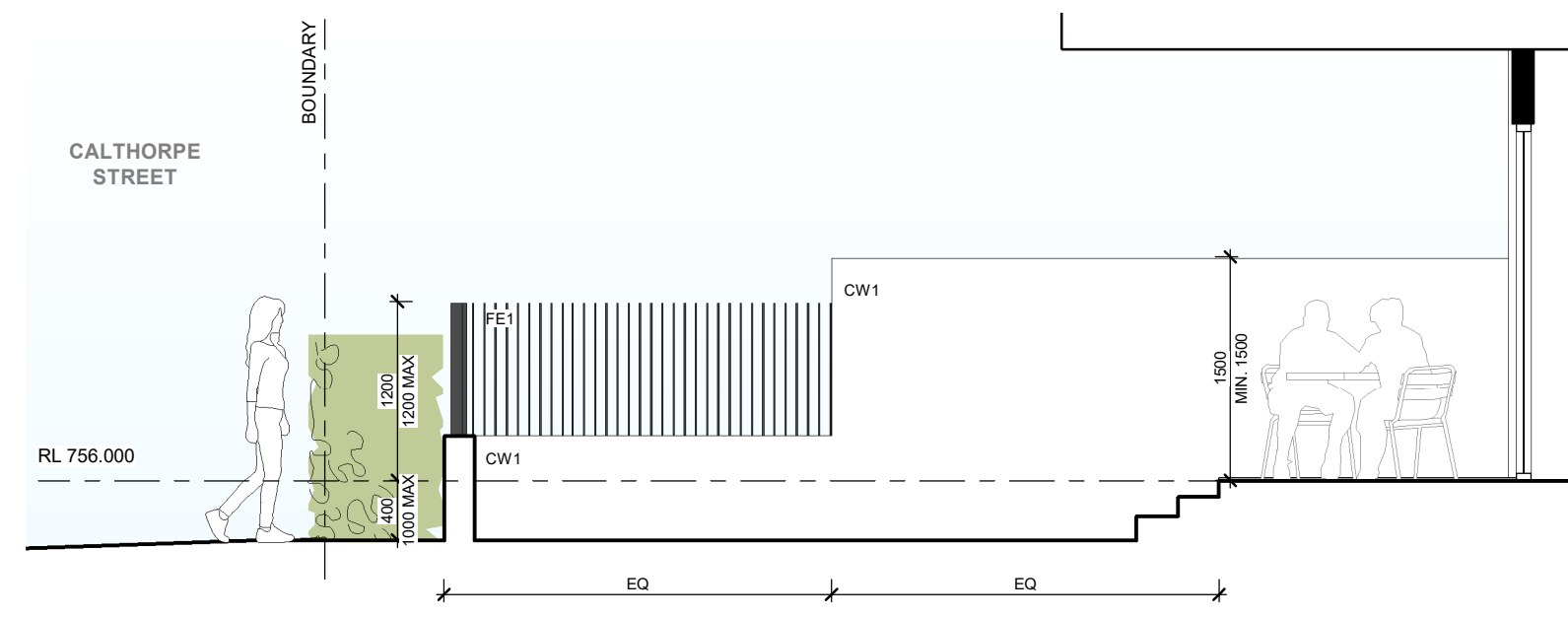
**TYPICAL RESIDENTIAL INTERFACE (BUILDING B) - FENCING TYPE 2**



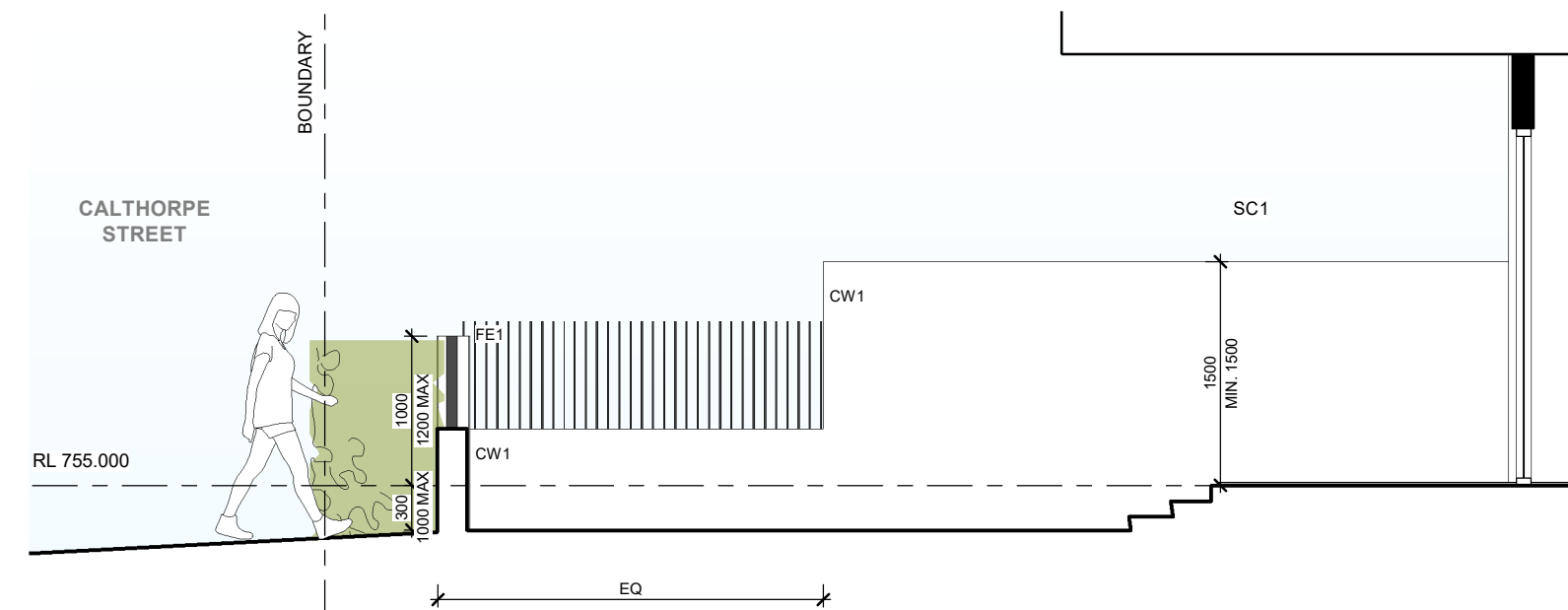
**TYPICAL RESIDENTIAL INTERFACE (BUILDING C) - FENCING TYPE 2**



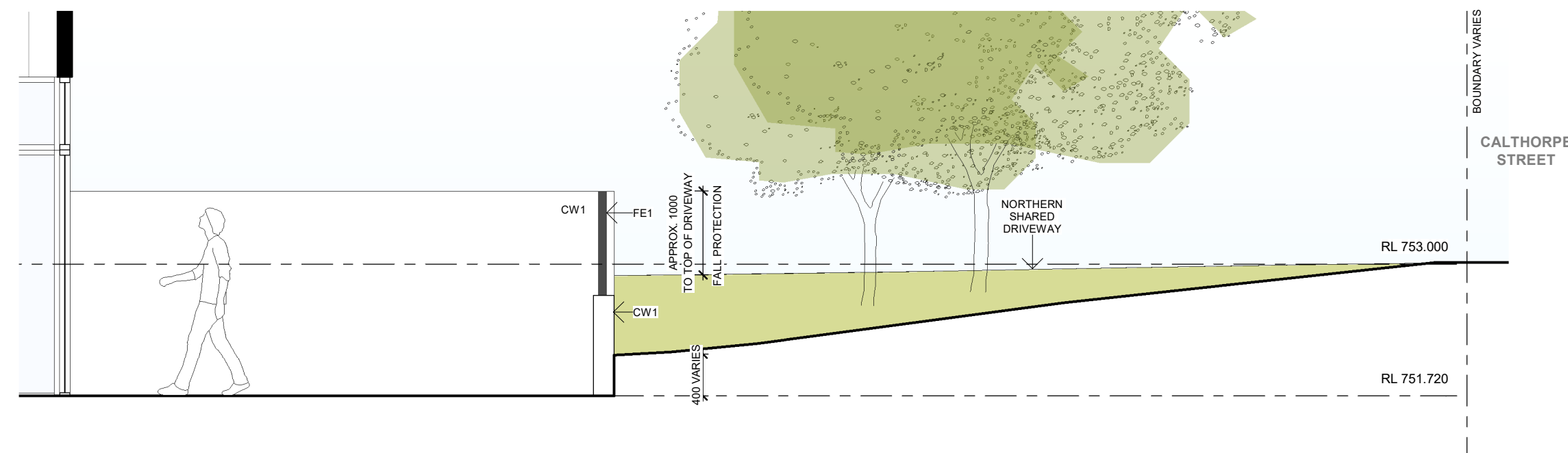
**TYPICAL RESIDENTIAL INTERFACE (BUILDING D) - FENCING TYPE 1**



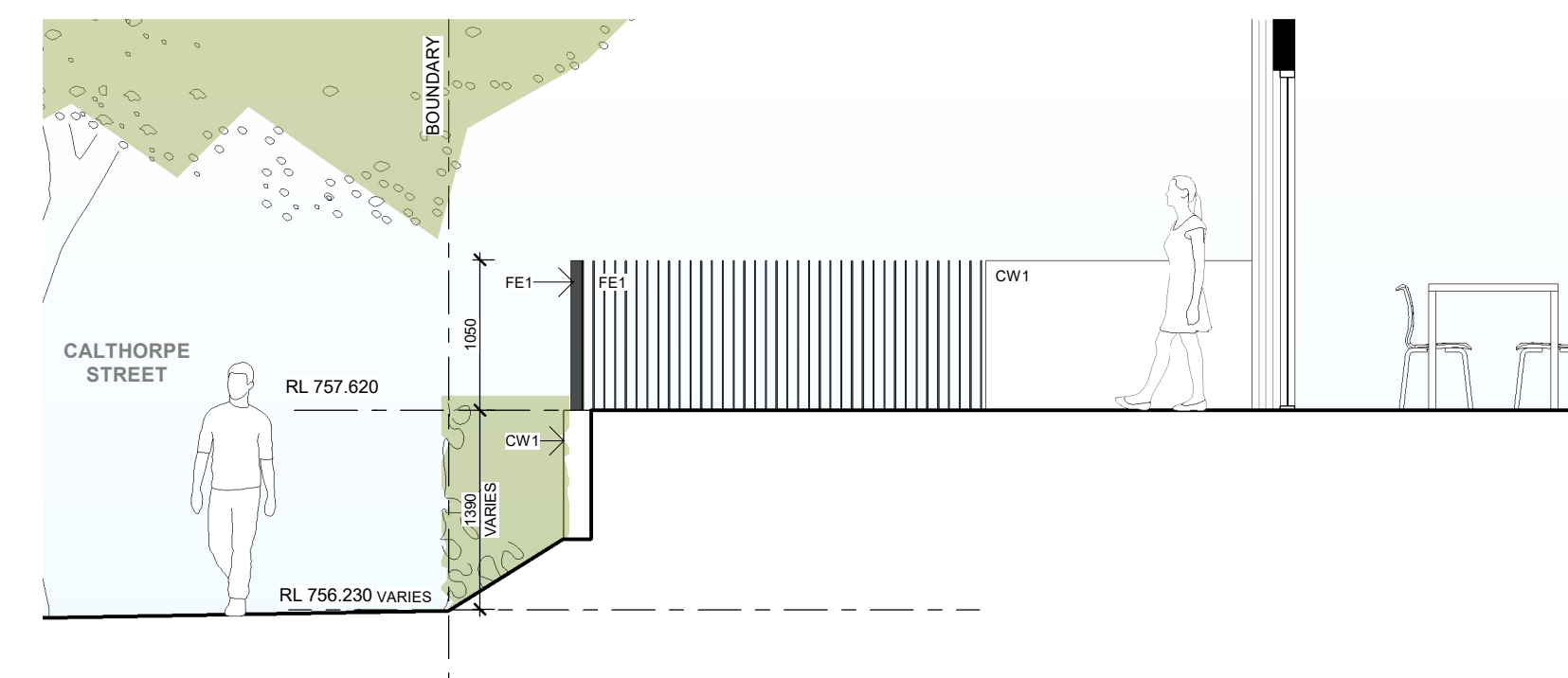
**TYPICAL RESIDENTIAL INTERFACE (BUILDING E) - FENCING TYPE 1**



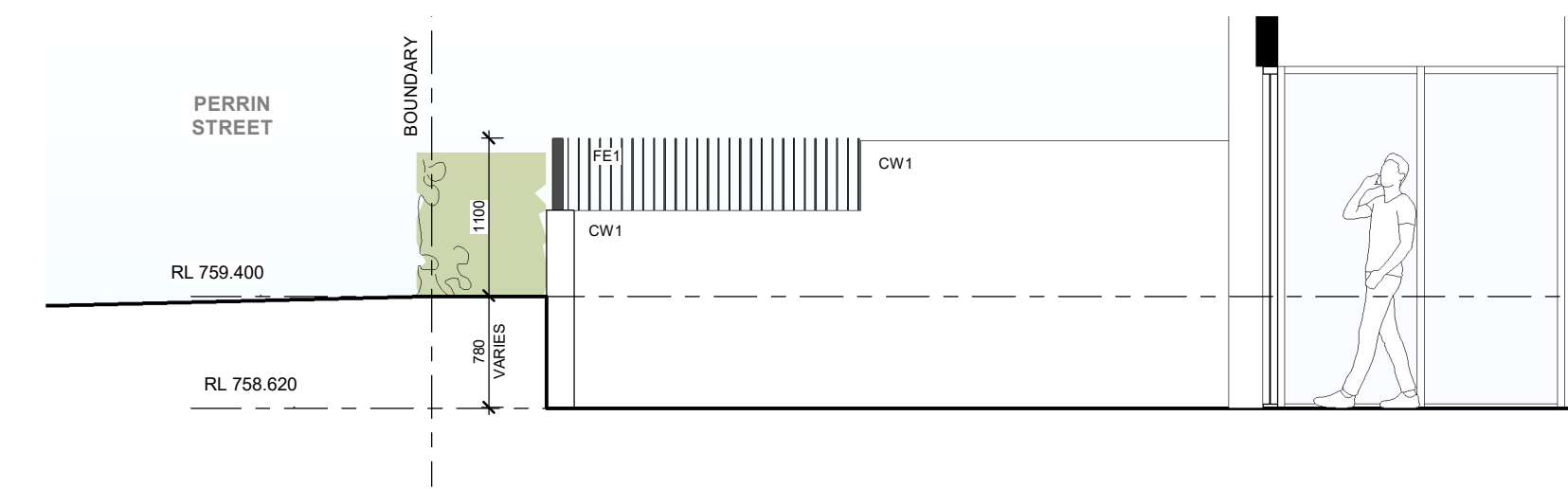
**TYPICAL RESIDENTIAL INTERFACE (BUILDING F) - FENCING TYPE 1**



**UT2J TO CALTHORPE STREET (BUILDING A) - FENCING TYPE 3**



**UT2B TO CALTHORPE STREET (BUILDING D) - FENCING TYPE 1**



**UT2B TO PERRIN STREET (BUILDING D) - FENCING TYPE 1**

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REV	DESCRIPTION
A	DRAFT DEVELOPMENT APPLICATION
B	DEVELOPMENT APPLICATION

DATE
10/11/2023
27/11/2023

PROJECT NAME  
**GOOGONG**  
PROJECT NUMBER  
**2319**  
LOCATION  
**LOT 642 GOOGONG**

CLIENT  
**BASE DEVELOPMENTS**

DRAWING TITLE  
**DETAIL - MAILBOXES, COURTYARDS & FENCING**

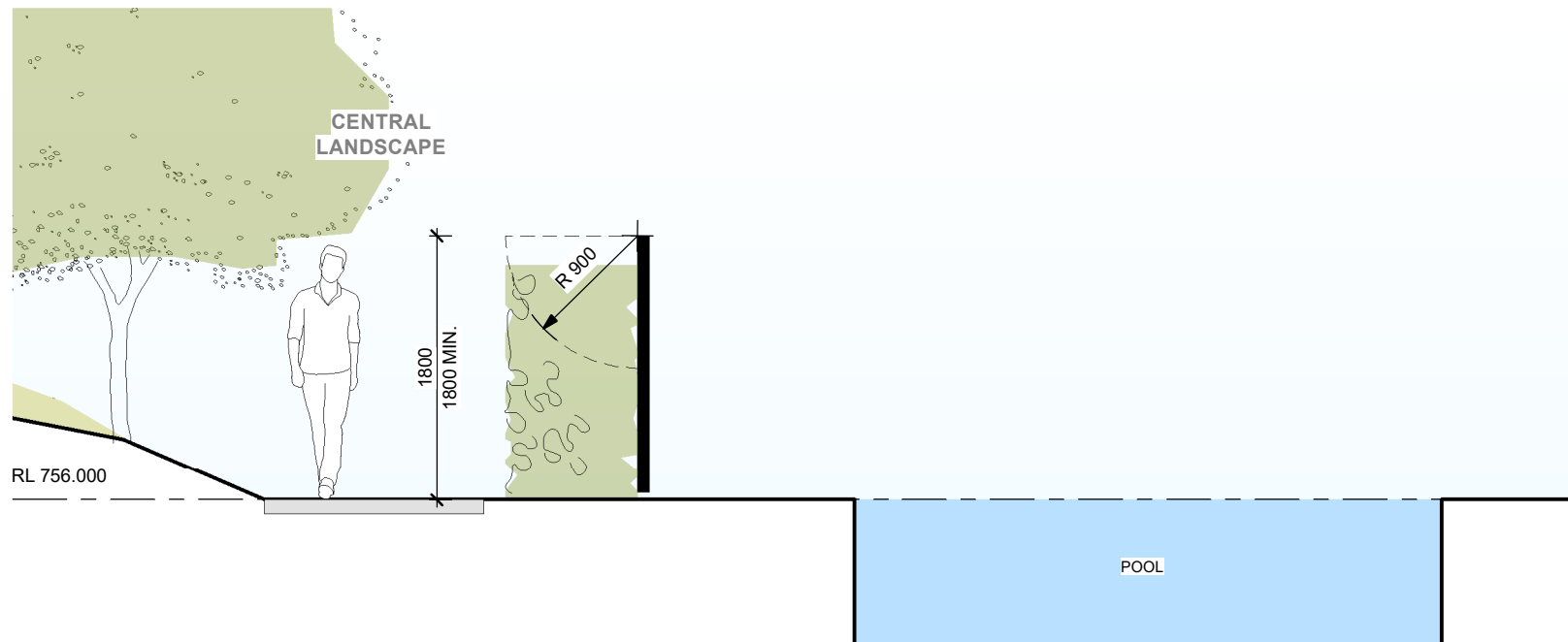
SCALE  
**1:50 @ A1**

DRAWING NUMBER  
**DA7002**  
REVISION  
**B**

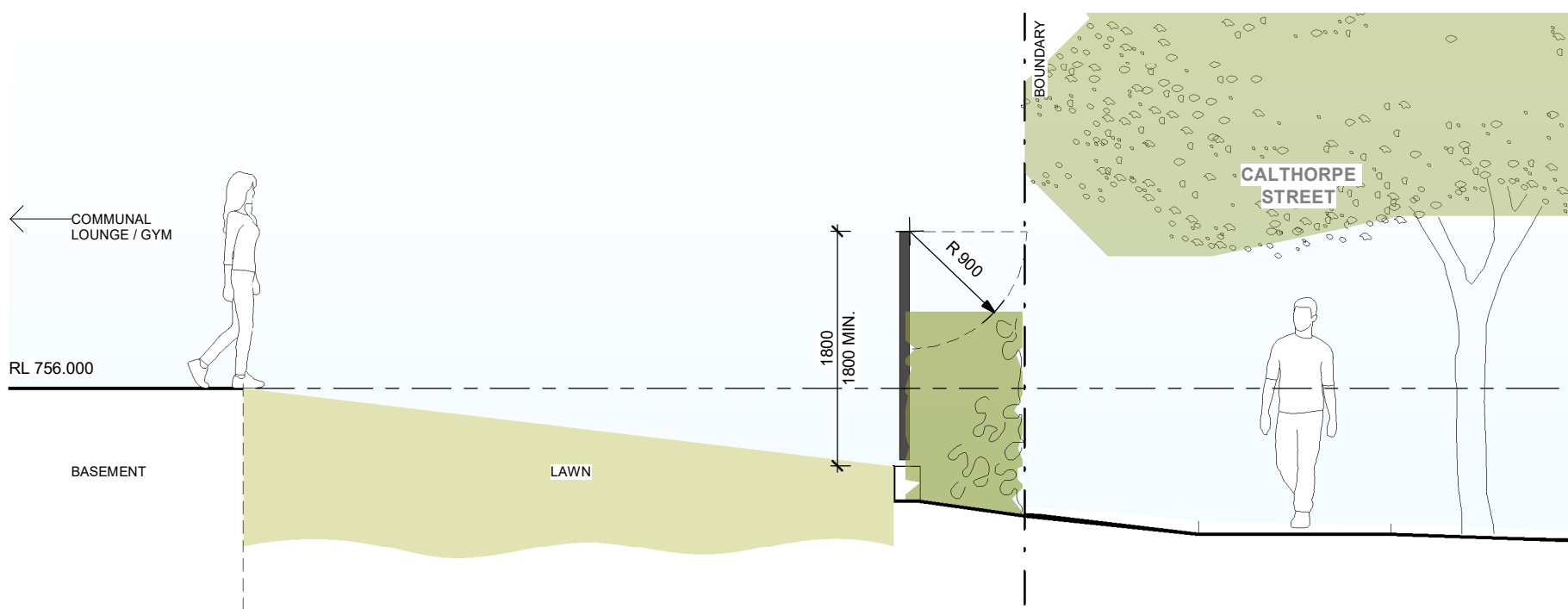


**POOL GATE - TYPICAL SECTION**

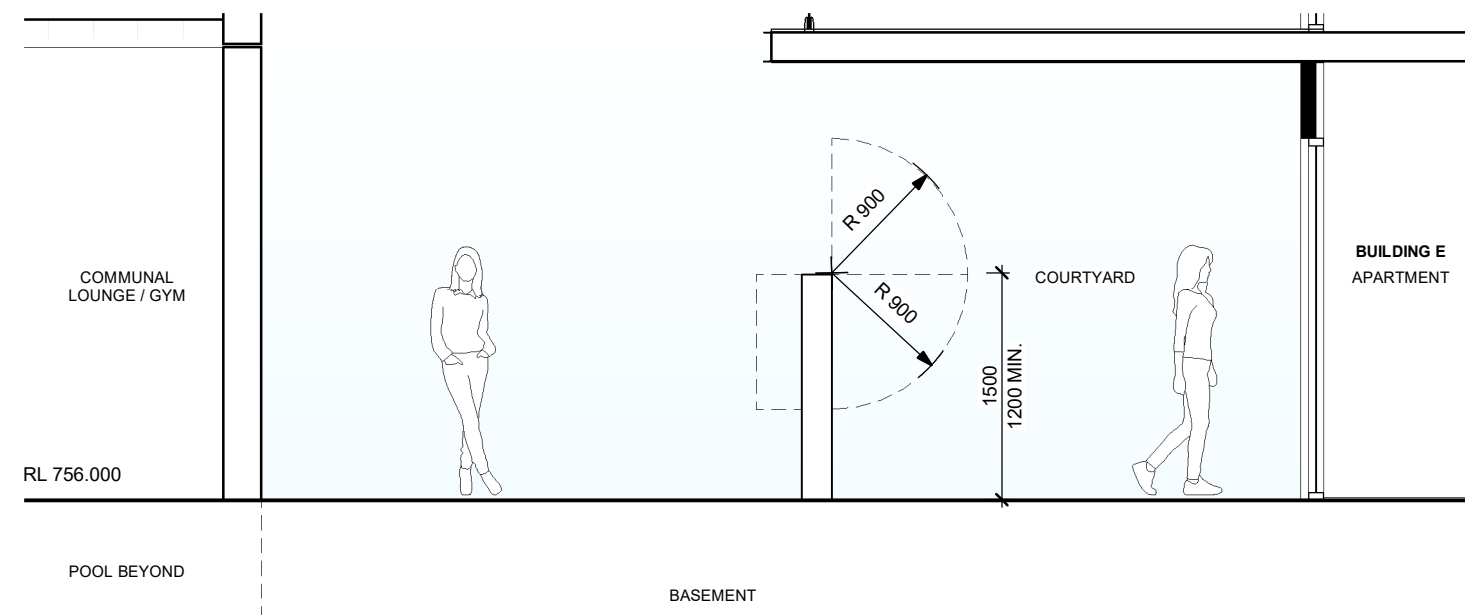
POOL GATE TO COMPLY WITH AS 1926.1

**POOL FENCE - TYPICAL SECTION**

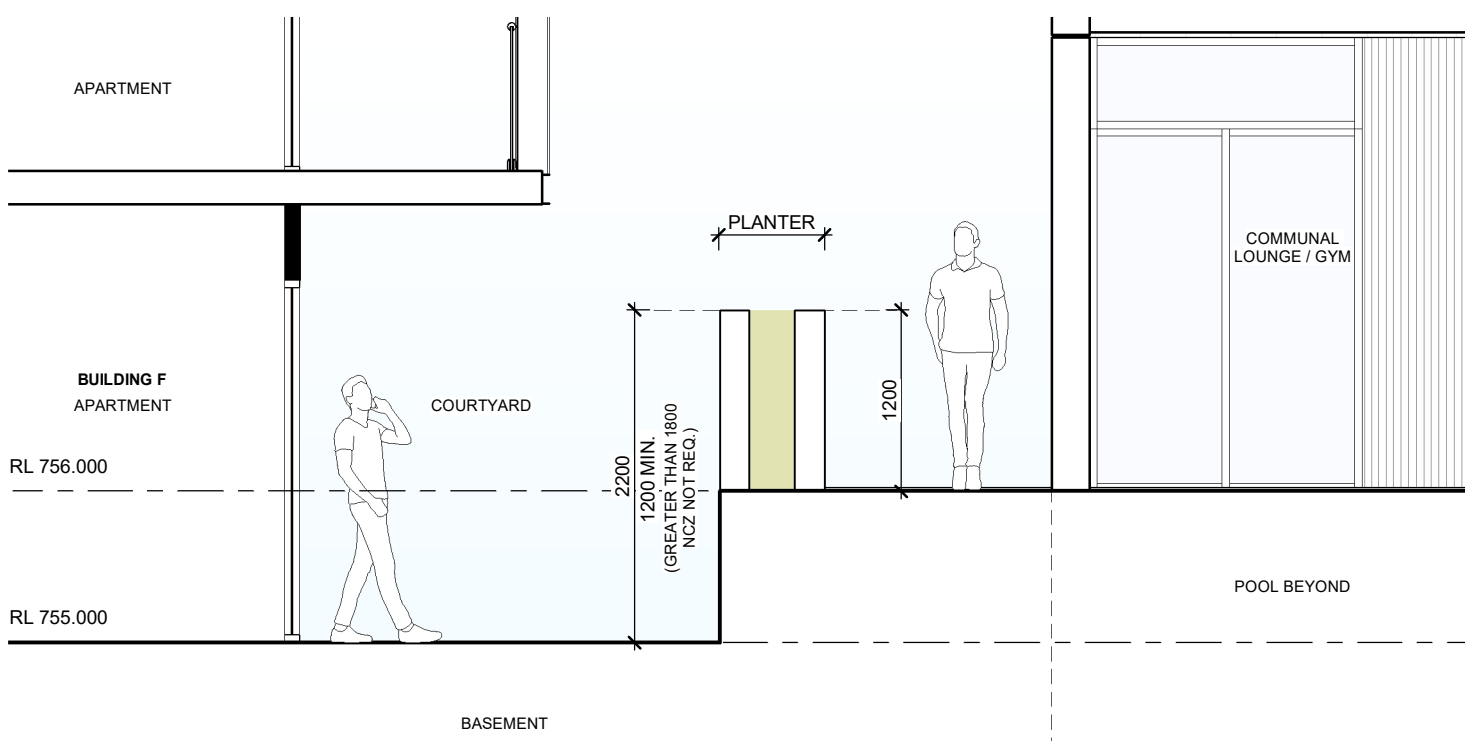
POOL FENCING TO COMPLY WITH AS 1926.1

**POOL FENCE - TYPICAL SECTION - COMMUNAL LOUNGE**

POOL FENCING TO COMPLY WITH AS 1926.1

**POOL / LOUNGE INTERFACE TO APARTMENT - SECTION 1**

POOL GATE TO COMPLY WITH AS 1926.1

**POOL / LOUNGE INTERFACE TO APARTMENT - SECTION 2**

POOL GATE TO COMPLY WITH AS 1926.1